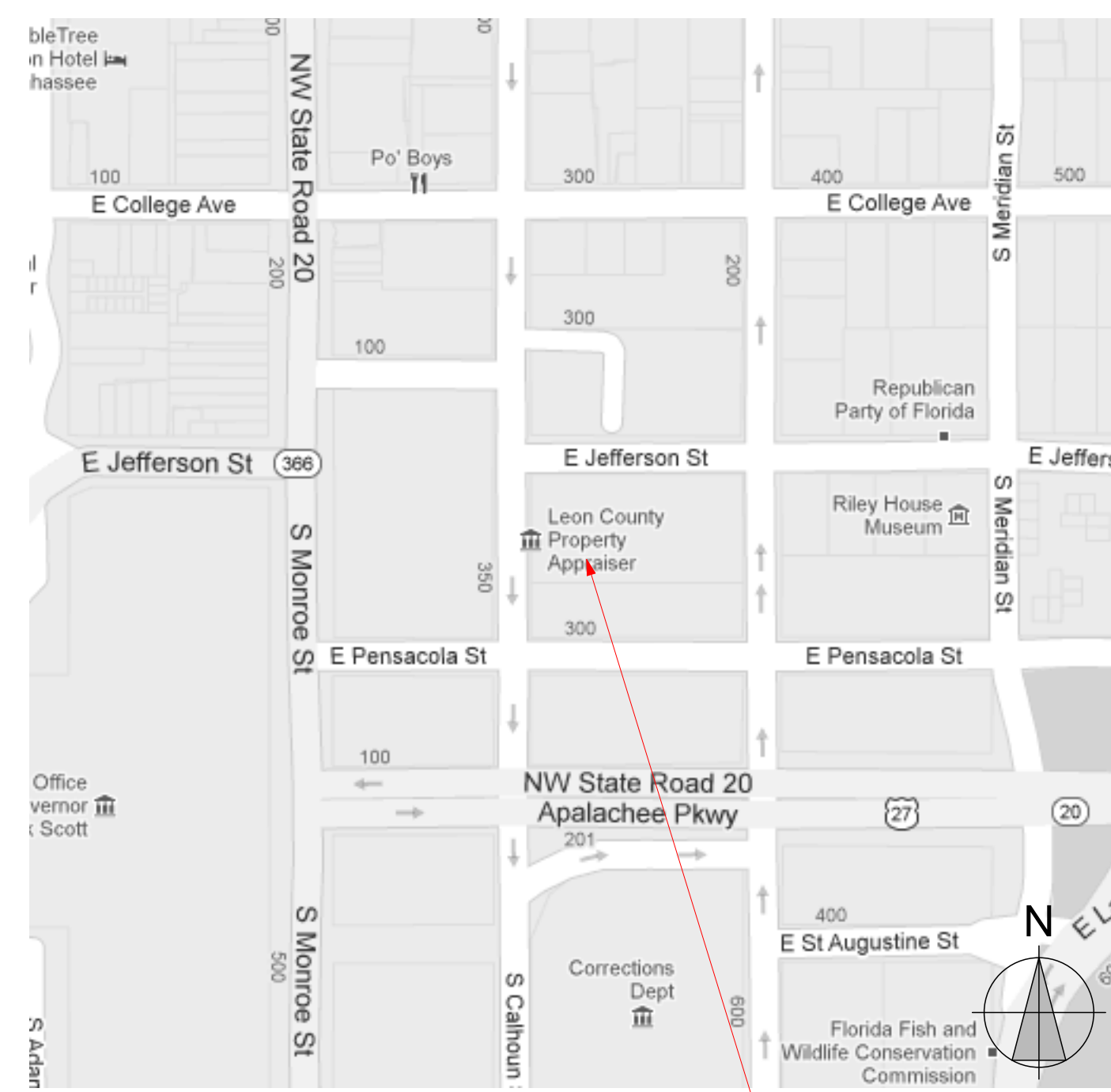


BANK OF AMERICA BUILDING WATERPROOFING

LEON COUNTY DEPARTMENT OF FACILITIES MANAGEMENT

TALLAHASSEE, FLORIDA

VICINITY MAP



AERIAL PHOTO

315 S CALHOUN STREET
TALLAHASSEE, FL



SCOPE OF WORK

BRIEFLY AND WITHOUT FORCE AND EFFECT UPON THE CONTRACT DOCUMENTS, THE WORK OF THE CONTRACT CAN BE SUMMARIZED AS FOLLOWS:

THE WORK INCLUDES PRESSURE WASHING AND REPAINTING THE PRECAST CONCRETE WALL PANELS ON THE EXTERIOR OF THE BUILDING WITH TWO COATS OF PREMIUM ACRYLIC PAINT DOWN TO THE PLAZA LEVEL, GRINDING OUT SEALANT IN JOINTS, IN EXPANSION AND CONTROL JOINTS, JOINTS BETWEEN DIFFERENT MATERIALS AND REPLACING IT WITH BACKER ROD AND PREMIUM SILICONE SEALANT; SEALING AND WET GLAZING GASKETED WINDOW AND SPANDREL PERIMETER AND MULLIONS WITH PREMIUM SILICONE SEALANT AND PREFORMED SILICONE SEALANT TAPE, ALSO INCLUDED; PATCHING MORTAR REPAIR OF SPALLED CONCRETE AND PRECAST CONCRETE PANELS REPAIR; CLEANING, PRIMING AND PAINTING THE PAINTED EXTERIOR HOLLOW METAL DOORS, FRAMES AND WINDOWS FRAMES. ALL WINDOWS ARE TO BE CLEANED PRIOR TO FINAL INSPECTION.

ADDITIVE ALTERNATE #1 - REPAIR THE SPALLED CONCRETE ON THE SOUTH VEHICLE RAMP WALL. CUT OUT DAMAGED CONCRETE ON THE NORTH AND SOUTH ELEVATION OF THE WALL SOUTH OF THE VEHICLE ENTRY RAMP, AND INSTALL AN EXPANSION JOINT. CLEAN AND INSTALL BACKER ROD AND SILICONE SEALANT AT EXISTING EXPANSION/CONTROL JOINTS, PRESSURE WASH AND PAINT WITH TWO COATS PREMIUM ACRYLIC PAINT.

ADDITIVE ALTERNATE #2 - PRESSURE WASH, PRIME AND PAINT EXTERIOR ELEVATION OF THE PARKING GARAGE PRECAST CONCRETE PANELS AND COLUMNS (3 SIDES) EXCLUDING THE INSIDE FACE. INTERIOR COLUMNS AND CEILINGS NOT INCLUDED IN THE SCOPE OF WORK.

ADDITIVE ALTERNATE #3 - CLEAN AND APPLY ELASTOMERIC WATERPROOF COATING SYSTEM OVER EXTERIOR CONCRETE MASONRY AND STUCCO, AND PRIMING/ BLOCK FILLER AND ELASTOMERIC COATING BARE ON CMU WALLS OF THE PENTHOUSE.

ADDITIVE ALTERNATE #4 - REROOF THE SMALL WEST SIDE ENTRANCE LOW SLOPE ROOF, REMOVE THE EXISTING GRAVEL SURFACE BUR DOWN TO THE STRUCTURAL CONCRETE, CLEAN THE DECK AND APPLY NEW REINFORCED ROOF COATING SYSTEM.

DISCLAIMER

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BUILDING AND FIRE CODES

FLORIDA BUILDING CODE, (FBC-B) 2010 EDITION
FLORIDA EXISTING BUILDING CODE, (FBC-EB) 2010 EDITION
ASCE STANDARD 7 (ANCE-45.8.1) (STRUCTURAL WIND LOAD CRITERIA)

FLORIDA PRODUCT APPROVAL

AS REQUIRED BY FLORIDA STATUTE 553.842 AND FLORIDA ADMINISTRATIVE CODE 9B-72, PROVIDE INFORMATION AND PRODUCT APPROVAL NUMBER(S) ON THE BUILDING COMPONENTS UTILIZED ON THE CONSTRUCTION PROJECT REQUIRING PERMITTING AFTER APRIL 1, 2004. REFER TO WWW.FLORIDABUILDING.ORG FOR MORE INFORMATION.

DRAWING INDEX

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CONSULTANTS

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MLD Architects, inc.
ARCHITECTURE - INTERIOR DESIGN - PLANNING
211 John Knox Road, Suite 105, Tallahassee, Florida 32303
(850) 320-3140 Fax
(850) 365-9200
www.MLDarchitects.com
mlid@mldarchitects.com
AA0001281

100% SUBMITTAL

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GENERAL NOTES

1. THE EXISTING OVERALL PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ALL CONDITIONS.
2. BEFORE SUBMITTING PROPOSAL FOR THE WORK, EACH BIDDER WILL BE HELD TO HAVE EXAMINED THE PREMISES AND SATISFIED HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE AND COMPLETE THE WORK UNDER THIS CONTRACT. NO ALLOWANCE WILL BE MADE SUBSEQUENTLY IN THIS CONNECTION ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
3. NORMAL OPERATIONS OF THE FACILITY SHALL CONTINUE DURING DEMOLITION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE WORK WITH ALL SUBCONTRACTORS AND SEQUENCE DEMOLITION AND CONSTRUCTION TO MINIMIZE INTERRUPTIONS TO NORMAL OPERATIONS OF THE FACILITY.
4. ALL PROPOSED INTERRUPTIONS TO OPERATIONS, SERVICES AND EQUIPMENT SHALL BE REVIEWED WITH AND APPROVED BY THE OWNER PRIOR TO STARTING SUCH WORK. UNLESS OTHERWISE APPROVED IN WRITING, ONLY WEEKEND OR EVENING INTERRUPTIONS ON UTILITIES SHALL BE APPROVED.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXIT WAYS CLEAR. WHERE AN EXIT MUST BE TEMPORARILY BLOCKED, CONTRACTOR SHALL PROVIDE THE REQUIRED BARRICADES AND DIRECTIONAL SIGNS FOR TEMPORARY EXITING AND SAFETY.
6. CONTRACTOR SHALL ERECT AND MAINTAIN ALL REASONABLE SAFEGUARDS FOR SAFETY AND HEALTH INCLUDING POSTING DANGER SIGNS, AND OTHER WARNING AGAINST HAZARDS, AS WELL AS PROMULGATING SAFETY REGULATIONS.
7. CONTRACTOR SHALL BE RESTRICTED TO AREAS SPECIFIED BY THE OWNER FOR ON SITE STORAGE OF CONSTRUCTION MATERIALS.
8. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING ROOFING AND FLASHING SYSTEM AND TO DISTRIBUTE LOAD OF EQUIPMENT AND SWINGSTAGE ANCHORING/ BRACING ON ROOF DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR'S RESPONSIBILITY NOT TO EXCEED DESIGN LOAD OF EXISTING ROOF STRUCTURE. ALL REPAIRS TO THE ROOFING MEMBRANE SHALL BE DONE BY A CERTIFIED ROOFING CONTRACTOR.
9. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING SURFACES AND SHALL BE RESPONSIBLE FOR RETURNING ALL DISTURBED SO D AND REPAIR ALL DAMAGED AREAS (MATERIALS, FINISHES, LANDSCAPING, ETC.) TO THEIR ORIGINAL CONDITION. SURFACES SHALL BE REPAIRED TO MATCH THE EXISTING ADJACENT UNDA MAGED SURFACES.
10. CONTRACTOR SHALL MAINTAIN A CLEAN WORK PREMISE AT ALL TIMES AND SHALL CLEAN CONSTRUCTION SITE OF ALL DEBRIS AT COMPLETION OF THE JOB AND BEFORE FINAL PAYMENT IS MADE.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER INTRUSION AND WATER DAMAGE TO THE BUILDING INTERIOR.
12. JOINT SEALANT MANUFACTURERS TO PROVIDE 20 YEAR WARRANTY ON SILICONE JOINT SEALANT AND PREFORMED SILICONE SEALANT TAPE. COATING MANUFACTURER SHALL PROVIDE 10 YEAR WARRANTY ON ELASTOMERIC COATING SYSTEM. PAINT MANUFACTURER SHALL PROVIDE 5 YEAR WARRANTY ON EXTERIOR ACRYLIC PAINT SYSTEMS AND 10 YEAR FLOROCARBON PAINT SYSTEMS.
13. CONTRACTOR AND INSTALLER SHALL PROVIDE 2 YEAR UNLIMITED LABOR AND MATERIAL WARRANTY ON MEMBRANE ROOFING SYSTEMS, JOINT SEALANT, CLEAR WATER REPELLENT SEALER SYSTEM, PAINTING AND COATING SYSTEMS.
14. ALL WORK SHALL COMPLY WITH APPLICABLE OSHA AND E.P.A. REGULATIONS AND GUIDELINES.
15. ALL WORK SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2010 EDITION.
16. CONTRACTOR SHALL LIST AN EMERGENCY TELEPHONE NUMBER WHERE HE OR SHE MAY BE REACHED 24 HOURS A DAY, SEVEN DAYS A WEEK, DURING THE ENTIRE PERIOD OF CONTRACT TIME. THIS TELEPHONE NUMBER SHALL BE PROVIDED AT THE RECONSTRUCTION CONFERENCE.

RENOVATION NOTES

PRESSURE WASHING, WATERPROOFING & PAINTING

1. REMOVE ALL SEALANTS, AND LOOSE/ UNADHERED COATINGS FROM ALL EXTERIOR SURFACES. ("EXTERIOR SURFACES" IN THIS SET OF DOCUMENTS SHALL BE UNDERSTOOD TO ALSO INCLUDE SURFACES NOT VISIBLE IN THE ELEVATIONS DRAWINGS) PREPARE ALL EXTERIOR SURFACES AND SPECIFIED JOINTS FOR APPLICATION OF PAINT/ COATING SYSTEMS, AND JOINT SEALANTS AS SPECIFIED AND RECOMMENDED BY MANUFACTURER.

2. CLEAN ALL EXTERIOR PRECAST CONCRETE, SILLS, WATER LEDGES, TRIM, CASINGS, CONCRETE EXTERIOR SURFACES AND PARAPET WALLS AND EXTERIOR LOUVERS, DOORS, WINDOWS, AND ALL EXTERIOR WALL AND SURFACES, ETC. THROUGHOUT THE VARIOUS ELEVATIONS, INDICATED IN SCOPE OF WORK INCLUDING THE PENHOUSE, UTILIZING A "HIGH PRESSURE COLD WATER SYSTEM" (WITH OSCILLATING TIP) TO REMOVE ALL LAITANCE, DIRT, OIL, GREASE, MILDEW, AND LOOSE EXISTING COATINGS. PROVIDE A CLEAN, SOUND SUBSTRATE CONDITION. CAUTION NOT TO DAMAGE SOUND SURFACES, OR WINDOWS DURING PRESSURE WASHING. CONTRACTOR SHALL SEAL AND PROTECT INTERIOR FROM WATER PENETRATION.

NOTE: MILDEW AREAS WILL REQUIRE A LIGHT DETERGENT AND CHLORINATED BLEACH SOLUTION TO BE UTILIZED IN CONJUNCTION WITH THE CLEANING OPERATION TO NEUTRALIZE MILDEW GROWTH. EFFERVESCENCE AND CALCIUM DEPOSITS TO BE TREATED AND CLEANED WITH WHITE SCUM REMOVER; FOLLOWING INITIAL PRESSURE WASHING, THEN PRESSURE WASH TREAT/CLEAN AREA AGAIN.

3. APPLY PRIMER/BOND COAT AND 2 COATS PREMIUM EXTERIOR ACRYLIC PAINT COATING SYSTEM TO CLEANED AND PREPARED, PREVIOUSLY PAINTED CONCRETE OVER EXTERIOR OF MAIN BUILDING, NOT INCLUDING THE PENHOUSE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS UNLESS NOTED OTHERWISE. PRIME SURFACES AS REQUIRED BY COATING MANUFACTURER, AND PROVIDE WRITTEN APPROVAL OF SUBSTRATE (AND PREPARATION) FROM COATING MANUFACTURER. FINAL COLOR SHALL BE SELECTED/ APPROVED BY ARCHITECT AND OWNER FROM PAINTED SAMPLE PANEL AREA. COLORS TO BE SIMILAR TO, OR MATCH EXISTING. (PROTECT GLASS AND METAL FRAMES FROM OVER SPRAY, DRIPPING AND SPILLAGE DURING EXTERIOR WALL APPLICATION WORK). CONTRACTOR TO PREPARE MINIMUM 500 SF AREA FOR APPROVAL BY OWNER/ARCHITECT AND COATING MANUFACTURER'S REPRESENTATIVE, TO BE BASIS OF SURFACE PREPARATION (TYPICAL ALL SURFACES INCLUDED IN THIS SCOPE).

4. MISCELLANEOUS METAL ACCESSORIES SUCH AS GALVANIZED OR PAINTED EXTERIOR DOOR FACING, JAMBS, STEEL WINDOW FRAMES, PAINTED STEEL BRACKETS, CONDUIT, AND STEEL SECURITY GRILLS, UNLESS NOTED OTHERWISE, ARE TO BE CLEANED, PRIMED AND PAINTED. ALL RUST TO BE MECHANICALLY OR HAND ABRADED AND THOROUGHLY CLEANED AS SPECIFIED. TOUCH UP PRIME BARE AND RUSTED METAL SURFACES, THEN COMPLETELY PRIME AND PAINT 2 COATS OF PREMIUM ACRYLIC PAINT ON ALL PREVIOUSLY PAINTED EXTERIOR METAL SURFACES UNLESS NOTED OTHERWISE. WEST (MAIN) ENTRY DOOR FRAMES (ONLY) TO BE CLEANED, PRIMED AND PAINTED WITH PREMIUM INDUSTRIAL FLUOROPOLYMER PAINT.

WINDOW SEALANT

1. CLEAN EXISTING PERIMETER AROUND FRAMES OF WINDOWS, DOORS AND LOUVERS THROUGHOUT THE ENTIRE BUILDING EXTERIOR. REMOVE TO MINIMUM DEPTH OF 1/2" BETWEEN CONCRETE AND DOOR OR WINDOW CASEMENT/FRAME. CUT OUT AND CLEAN ALL RESIDUAL SEALANT FROM SUBSTRATE FOR CLEAN JOINT SHOULDERS AND BOND FACE. CLEAN AND PRIME BOND SURFACE OF CONCRETE SUBSTRATE AS SPECIFIED AND RECOMMENDED BY SEALANT MANUFACTURER, INSTALL BACKER ROD OR BOND BREAKER TAPE AND CAULK SEAL WITH PREMIUM SILICONE SEALANT (METAL OR CONCRETE) IN COVE JOINT PROFILE AS SPECIFIED.

NOTE: ALL WINDOWS TO BE CLEAN AND STREAK/ SPOT FREE AT COMPLETION OF JOB

2. CLEAN AND XYLENE WIPE PRECAST AND THE EXISTING EXTERIOR GASKETS AT WINDOW PERIMETER AND BETWEEN SPANDRAL AND WINDOW GLASS. APPLY PREFORMED SILICONE SEAL TAPE IN A BEAD OF MANUFACTURER'S SILICONE SEALANT. CONTRACTOR TO PROVIDE MANUFACTURER'S CERTIFICATION OF SEAL TAPE APPLICATION TO THE PROJECT ARCHITECT WITHIN 24 HOURS OF NOTIFICATION OF LOW BID. CLEAN AND WET GLAZE WINDOW PERIMETER WITH PREMIUM SILICONE SEALANT AND BOND BREAKER TAPE IN COVE JOINT PROFILE.

JOINT SEALANTS PRECAST CONCRETE

1. CUT OUT AND REMOVE ALL EXISTING JOINT SEALANT AND RESIDUE AT ALL EXPANSION JOINTS, AND CONTROL JOINTS, JOINTS BETWEEN HORIZONTAL AND VERTICAL SURFACES OR INSIDE CORNER AND JOINTS BETWEEN PCAST CONCRETE PANELS. INSTALL BACKER ROD OR BOND BREAKER TAPE AND PRIME JOINT SHOULDERS AS RECOMMENDED BY SEALANT MANUFACTURER. INSTALL HIGH PERFORMANCE SILICONE SEALANT

COATING/PAINTING NOTES

1. SOLVENT CLEAN (SSPC-SP 1), HAND TOOL CLEAN (SSPC-SP 2), AND SAND OR POWER TOOL CLEAN (SSPC-SP 3) TO REMOVE ALL LOOSE PAINT, LOOSE RUST, AND LOOSE MILL SCALE FROM EXPOSED STEEL EQUIPMENT SUPPORT RACKS AND STEEL LANDING (TO 4' ABOVE ROOF SURFACE).

STEEL SURFACES WITH TIGHTLY ADHERED EXISTING COATING WITHOUT OXIDATION OR LIMITED TO SMALL BUBBLING CONDITIONS, LESS THAN A SSPC RUST GRADE 2 SHALL HAVE A SP 2 HAND TOOL CLEANING SURFACE PREPARATION AS DEFINED BY SSPC (STEEL STRUCTURES PAINTING COUNCIL) GUIDELINES. STEEL SURFACES WITH LOOSE OR BROKEN COATING MATERIAL, OR OXIDATION CORROSION GREATER THAN SSPC RUST GRADE 2 SHALL HAVE A SP 3 POWER TOOL CLEANING SURFACE PREPARATION AS DEFINED BY SSPC TO COMPLETELY REMOVE ALL LOOSE, PEELING & FLAKING PAINT, AND RUST TO SOUND SUBSTRATE.

2. SP-3 SURFACE PREPARATIONS ARE REQUIRED SPECIFICALLY AT NUT/BOLT CONNECTIONS, MATERIAL JOINING EDGE CONDITIONS, AREAS OF SEVERE RUST AND SCALE, AND AREAS ADJACENT TO GROUND AND CONCRETE SUSCEPTIBLE TO SUSTAINED MOISTURE.

3. CONTRACTOR SHALL PROTECT ROOFING SYSTEM AND BUILDING INTERIOR FROM WATER PENETRATION.

SEE SPECIFICATION SECTION - 09890 SPECIAL COATINGS AND PAINTING.

RENOVATION NOTES (CONT.)

REPAIR OF SPALLED/CRACKED CONCRETE

1. CONTRACTOR SHALL SUBMIT ALL REPAIR PRODUCT DATA FOR REVIEW AND APPROVAL PRIOR TO BEGINNING OF WORK BEING PERFORMED. CUT OUT AND REPAIR SPALLED REINFORCED CONCRETE AS RECOMMENDED BY "GUIDE FOR SURFACE PREPARATION FOR THE REPAIR OF DETERIORATED CONCRETE RESULTING FROM REINFORCING STEEL CORROSION" (GUIDELINE NO. 03730), PUBLISHED BY THE INTERNATIONAL CONCRETE REPAIR INSTITUTE, 1323 SHEPARD DRIVE, SUITE D, STERLING, VIRGINIA 20164-4428 - COPYRIGHT 1995.

2. SAW CUT RECTANGULAR CUTOUT AT THE PERIMETER OF CONCRETE REPAIR AREA. LOCATE SAW CUT A MINIMUM OF 1/2 INCHES BEYOND SPALL EDGE OR CRACK LINE. EXTEND THE DISTANCE OF SAW CUT LOCATION AS REQUIRED TO EXPOSE UNDA MAGED PRECAST. CHIP AND REMOVE ALL UNSOUND CONCRETE. ALSO REMOVE CONCRETE TO A MINIMUM OF 3/4 INCH CLEAR ABOVE OR BEYOND THE REINFORCING BARS.

3. CLEAN EXPOSED STEEL AND REMOVE LOOSE RUST AND CORROSION BY MECHANICAL WIRE BRUSH, HAND TOOL, CLEAN AND SOLVENT WIRE. WORKMEN MUST BE CAREFUL NOT TO DAMAGE OR WEAKEN STRUCTURAL SUPPORT IN THE PROCESS OF CHIPPING AND ABRADING. CONTRACTOR SHALL NOTIFY ARCHITECT TO ALLOW AN OPPORTUNITY TO REVIEW CONDITIONS OF THE CONCRETE AND REINFORCING BEFORE CONTINUING WITH REPAIR. PREPARE THE REINFORCING STEEL AND EXISTING CONCRETE SUBSTRATE IN ACCORDANCE WITH THE REPAIR PRODUCT MANUFACTURER'S RECOMMENDATIONS.

4. COAT EXPOSED STEEL WITH AN ANTI-CORROSION EPOXY RESIN AND BONDING AGENT. REPLACE REMOVED CONCRETE USING NONSAG POLYMER MODIFIED CEMENTITIOUS MORTAR SUITABLE FOR VERTICAL OR OVERHEAD APPLICATIONS. CURE PER MANUFACTURER'S RECOMMENDATIONS.

5. MATCH TEXTURE OF PRECAST CONCRETE AND COVER THE EXPOSED CONCRETE PATCH WITH PRIMER AND COATING SYSTEM AS SPECIFIED. ARCHITECT AND OWNER TO INSPECT MOCKUP SAMPLE FOR APPROVAL PRIOR TO WORK.

ADDITIVE ALTERNATE # 1

1. HIGH PRESSURE WASH THE SOUTH VEHICLE RAMP WALLS NORTH AND SOUTH RETAINING WALLS. REPAIR SPALLED CONCRETE AS DESCRIBED IN THE RENOVATION NOTES ABOVE. CUT OUT EXISTING CONTROL AND EXPANSION JOINTS, CLEAN JOINT SHOULDERS WITH XYLENE, INSTALL BACKER ROD AND PREMIUM SILICONE SEALANT.

2. SAW CUT THE EXISTING CONCRETE AT THE EAST END OF THE VEHICLE RAMP ON THE SOUTH WALL WHERE THE CONCRETE HAS CRACKED AND SPALLED, PROVIDE CLEAN AND SMOOTH EDGES AND INSTALL A NEW EXPANSION JOINT WITH BACKER ROD AND PREMIUM SILICONE SEALANT.

3. APPLY PRIMER/BOND COAT AND 2 COATS PREMIUM EXTERIOR ACRYLIC PAINT COATING SYSTEM TO CLEANED AND PREPARED, PREVIOUSLY PAINTED CONCRETE OVER EXTERIOR OF THE RAMP'S WALLS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. COLOR TO MATCH BUILDING COLOR AND TO BE APPROVED BY OWNER AND ARCHITECT.

ADDITIVE ALTERNATE # 2

1. HIGH PRESSURE WASH, PRIME AND PAINT EXTERIOR SURFACE OF THE PRECAST CONCRETE WALL PANELS AND COLUMNS (3 SIDES) OF THE PARKING GARAGE EAST OF THE BUILDING, THE INTERIOR SIDES OF THE WALL PANELS AND COLUMNS ARE NOT INCLUDED IN THE SCOPE OF WORK.

2. CUT OUT AND REMOVE EXISTING SEALANT JOINTS AT CONTROL AND EXPANSION JOINTS. CLEAN AND XYLENE WIPE BONDING SURFACE, INSTALL BACKER ROD OR BOND BREAKER TAPE AND INSTALL PREMIUM SILICONE SEALANT.

ADDITIVE ALTERNATE # 3

1. AFTER PRESSURE WASHING THE ELEVATIONS OF THE PENTHOUSE (INCLUDED IN BASE BID), CUT OUT EXISTING SEALANT AROUND WALL PENETRATIONS, DOOR PERIMETERS AND ABOVE WALL BASE COUNTERFLASHING, CLEAN AND RESEAL WITH BOND BREAKER TAPE, WHERE REQUIRED AND PREMIUM SILICONE SEALANT.

2. APPLY AN ELASTOMERIC COATING OVER THE STUCCO EXTERIOR WALL SURFACES. COATING COLOR IS TO MATCH THE MAIN BUILDING COLOR. CONTRACTOR TO PROVIDE A 5' X 5' MOCK UP AREA FOR APPROVAL BY THE OWNER AND ARCHITECT. CLEAN PRIME AND PAINT DOORS AND FRAMES WITH INDUSTRIAL ACRYLIC PAINT.

ADDITIVE ALTERNATE # 4

1. REMOVE THE EXISTING GRAVEL BUILT UP ROOFING SYSTEM FROM THE SMALL LOW SLOPE ROOF OF THE WEST SIDE ENTRANCE CANOPY DOWN TO THE EXISTING CONCRETE SURFACE. CLEAN THE CONCRETE ROOF DECK.

2. APPLY LIQUID APPLY ROOF COATING. ROOF COATING SYSTEM TO BE EQUIVALENT TO 60 MIL THICKNESS AFTER INSTALLATION. INSTALL LIQUID APPLIED REINFORCED FLASHING AT THE EAST SIDE WINDOW WALL BASE.

LEGEND

	PARAPET WALL		SLOPE
	ELEVATION/SECTION NUMBER		VTR
	SHEET NUMBER		EXISTING ROOF DRAIN
	WORK LEGEND NOTE	N.I.C.	NOT IN CONTRACT
	PHOTO MARKER	SIM.	SIMILAR
	PHOTO # / SHEET #	TYP.	TYPICAL
	EXPANSION JOINT	MIR.	MIRROR

WORK NOTES

THESE WORK ITEMS ARE TASK SPECIFIC TO NOTATE PARTICULAR ITEMS OF WORK AND ARE NOT INTENDED TO BE LOCATION SPECIFIC OR ALL INCLUSIVE, BUT INTENDED TO SUPPLEMENT THE RENOVATION NOTES AND DETAILS, AND TO CLARIFY THE SCOPE OF WORK. WORK LEGEND DESCRIPTION IS TYPICAL FOR SITUATIONS AND WORK SCOPE SHOWN. WORK LEGEND SYMBOL IS NOT SHOWN AT EVERY SPECIFIC LOCATION WHICH SCOPE IS TO BE COMPLETED.

- 1 HIGH PRESSURE WASH EXTERIOR PRECAST CONCRETE AND STUCCO WALLS. CUT OUT AND REPLACE EXISTING JOINT SEALANT AT ALL EXPANSION JOINTS, AND CONTROL JOINTS WITH BACKER ROD/ BOND BREAKER TAPE AND PREMIUM SILICONE SEALANT. APPLY PRIMER/ BOND COAT AND PAINT WALL SURFACE WITH TWO COAT INDUSTRIAL ACRYLIC PAINT.
- 2 CLEAN AND XYLENE WIPE PRECAST AND THE EXISTING EXTERIOR GASKETS AT WINDOW PERIMETER AND BETWEEN SPANDRAL AND WINDOW GLASS. APPLY PREFORMED SILICONE SEAL TAPE IN A BEAD OF MANUFACTURER'S SILICONE SEALANT. CLEAN AND WET GLAZE WINDOW PERIMETER WITH PREMIUM SILICONE SEALANT AND BOND BREAKER TAPE IN COVE JOINT PROFILE.
- 3 CUT OUT SEALANT AND CLEAN EXISTING PERIMETER AROUND FRAMES OF WINDOWS, DOORS AND LOUVERS INCLUDED IN THE SCOPE OF WORK. CLEAN ALL RESIDUAL SEALANT FROM SUBSTRATE FOR CLEAN JOINT SHOULDERS AND BOND FACE. CLEAN AND INSTALL BACKER ROD OR BOND BREAKER TAPE AND CAULK SEAL WITH PREMIUM SILICONE SEALANT IN COVE JOINT PROFILE AS SPECIFIED.
- 4 CRACKS AND SPALLS IN THE PRECAST CONCRETE TO BE CUT OUT AS DETAILED, EXPOSED STEEL REINFORCING TO BE MECHANICALLY ABRADED, THEN TREATED AND COATED WITH ANTI-CORROSION BONDING AGENT AND THEN PRECAST CONCRETE TO BE PATCHED WITH MODIFIED MORTAR CEMENT TO MATCH EXISTING TEXTURE, AS SPECIFIED, OR APPROVED EQUAL. COVER CONCRETE PATCH WITH PAINT AS SPECIFIED.
- 5 CLEAN, TREAT, PRIME AND PAINT TWO COATS MISCELLANEOUS METAL ACCESSORIES SUCH AS GALVANIZED OR PAINTED EXTERIOR DOOR FACING, JAMBS, STEEL SECURITY GRILLS, AND CONDUIT. ALL RUST TO BE MECHANICALLY OR HAND ABRADED AND THOROUGHLY CLEANED AS SPECIFIED. TOUCH UP PRIME BARE AND RUSTED METAL SURFACES, THEN COMPLETELY PRIME AND PAINT 2 COATS OF PREMIUM ACRYLIC PAINT.
- 6 ADDITIVE ALTERNATE # 1: SAW CUT THE EXISTING CONCRETE AT THE EAST END OF THE VEHICLE RAMP ON THE SOUTH WALL WHERE THE CONCRETE HAS CRACKED AND SPALLED, PROVIDE CLEAN AND SMOOTH EDGES AND INSTALL A NEW EXPANSION JOINT WITH BACKER ROD AND PREMIUM SILICONE SEALANT.
- 7 ADDITIVE ALTERNATE # 3: APPLY AN ELASTOMERIC COATING OVER THE STUCCO EXTERIOR WALL SURFACES. COATING COLOR IS TO MATCH THE MAIN BUILDING COLOR.
- 8 ADDITIVE ALTERNATE # 4: REMOVE THE EXISTING GRAVEL BUILT UP ROOFING SYSTEM DOWN TO THE EXISTING CONCRETE SURFACE. CLEAN THE CONCRETE ROOF DECK. APPLY LIQUID APPLY ROOF COATING AND LIQUID APPLIED REINFORCED FLASHING.

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LEON COUNTY DEPT. OF FACILITIES MANAGEMENT
TALLAHASSEE, TALLAHASSEE

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MLD Architects, inc.
ARCHITECTURE - INTERIOR DESIGN - PLANNING
211 John Knox Road, Suite 105, Tallahassee, Florida 32303
(850) 320-3140 Fax
(850) 385-9200
mld@mldarchitects.com
www.MLDarchitects.com
A/C001281

100% SUBMITTAL

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 (850) 221-3140 Fax
 (850) 365-9200
 www.MLDarchitects.com
 mlid@mldarchitects.com
 AAC001281

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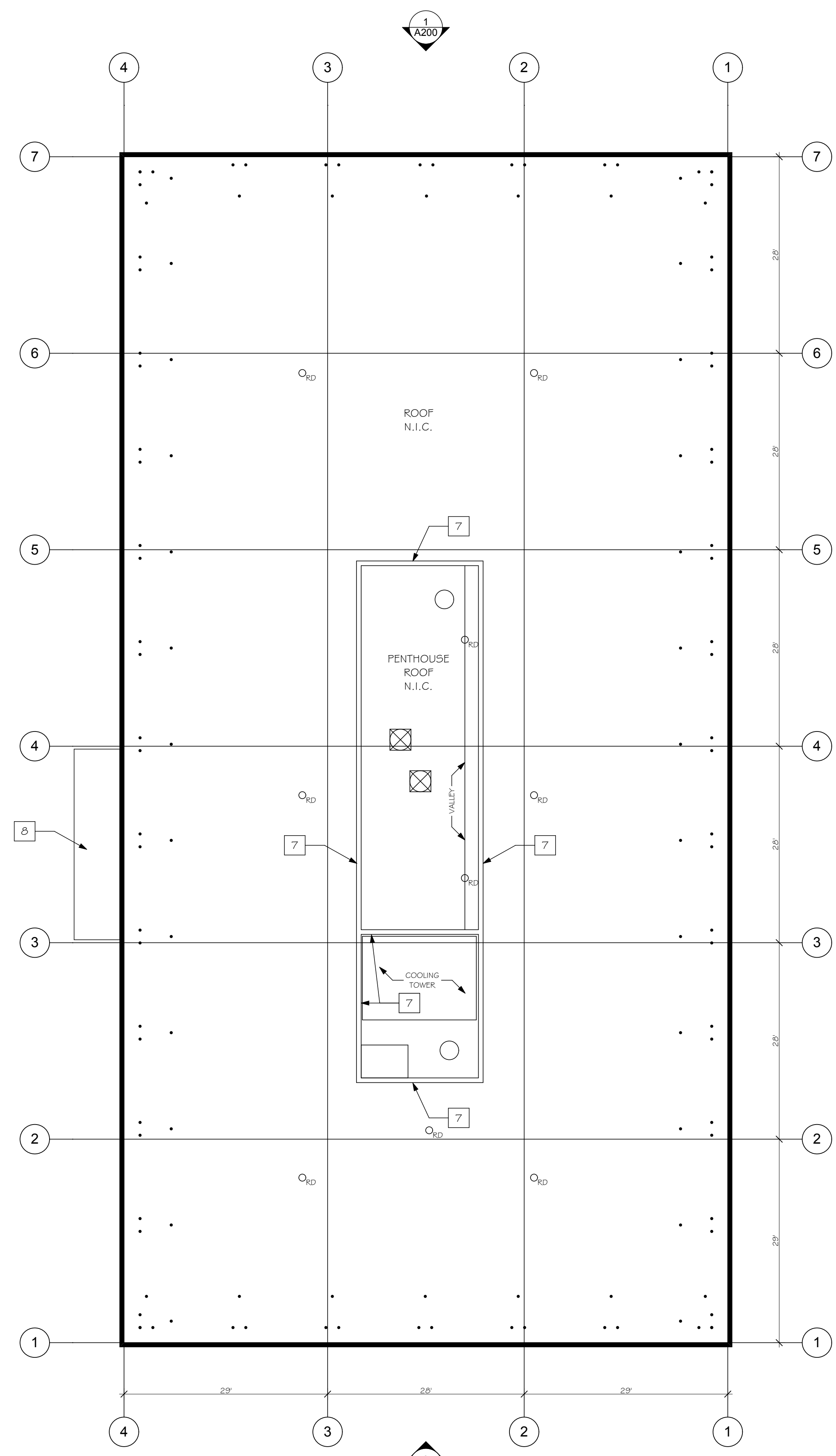
LEGEND

- PARAPET WALL
- ELEVATION/SECTION NUMBER
SHEET NUMBER
- WORK LEGEND NOTE
- PHOTO MARKER
PHOTO # / SHEET #
- EXPANSION JOINT
- SLOPE
- VTR
- EXISTING ROOF DRAIN
- N.I.C. NOT IN CONTRACT
- SIM. SIMILAR
- TYP. TYPICAL
- MIR. MIRROR

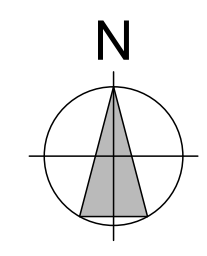
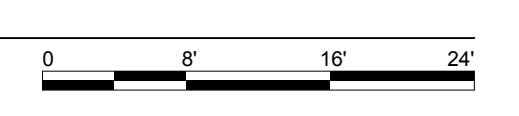
WORK NOTES

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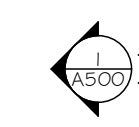



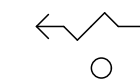


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3
A100
 ROOF PLAN
 SCALE: 3/32" = 1'-0"



LEGEND

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-  ELEVATION/SECTION NUMBER
-  WORK LEGEND NOTE
-  PHOTO MARKER
-  EXPANSION JOINT
-  SLOPE
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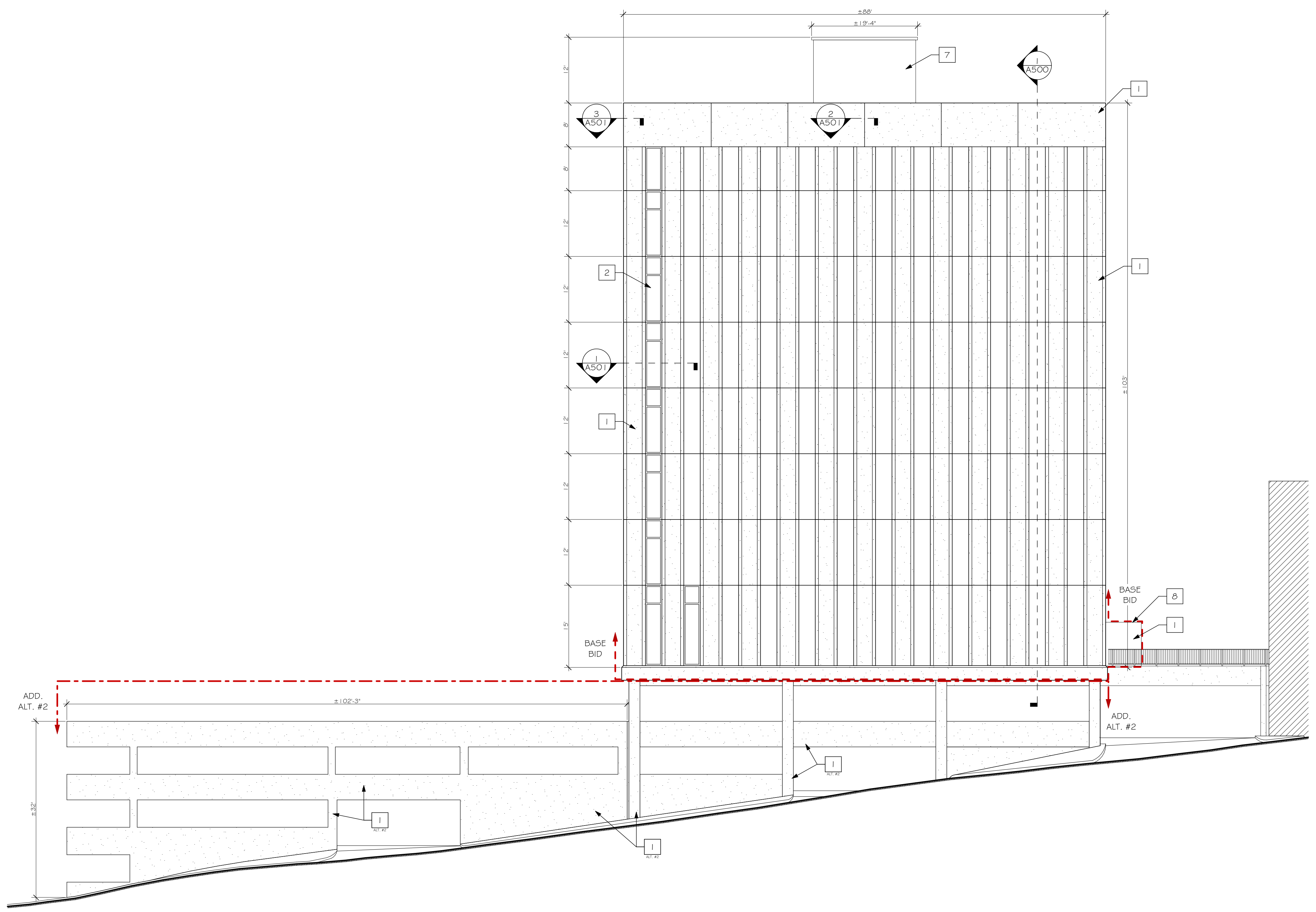
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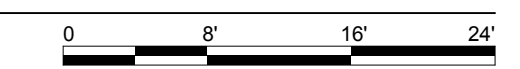
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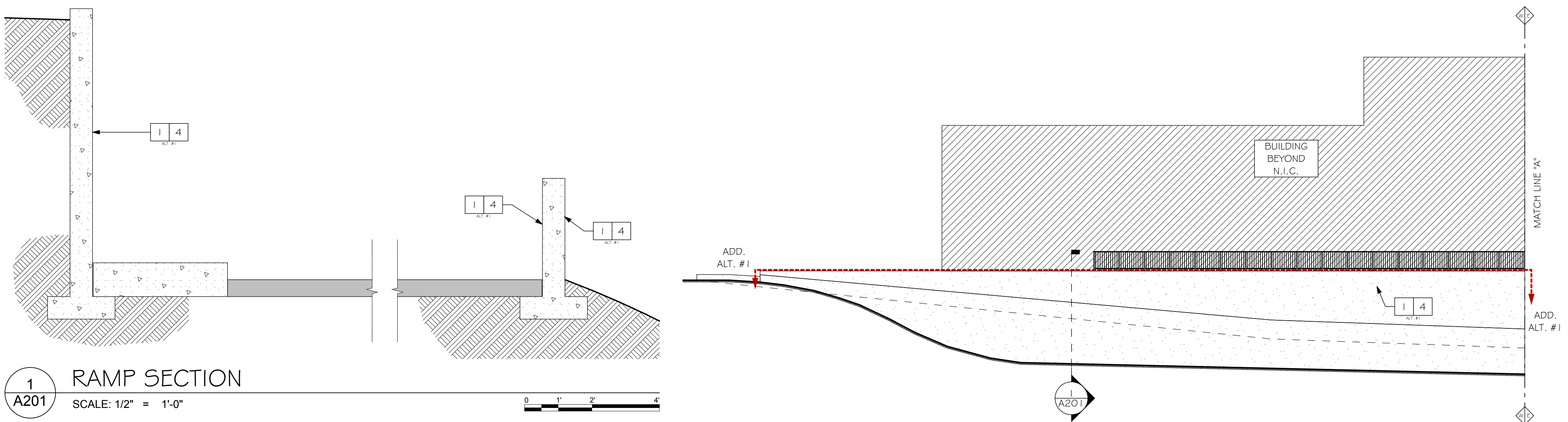
MLD Architects, inc.
 ARCHITECTURE - INTERIOR DESIGN - PLANNING
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 (850) 220-3140 Fax
 (850) 365-9200
 mld@mldarchitects.com
 www.MLDarchitects.com
 AA0001281

100% SUBMITTAL
A200



1 NORTH ELEVATION
A200 SCALE: 3/32" = 1'-0"

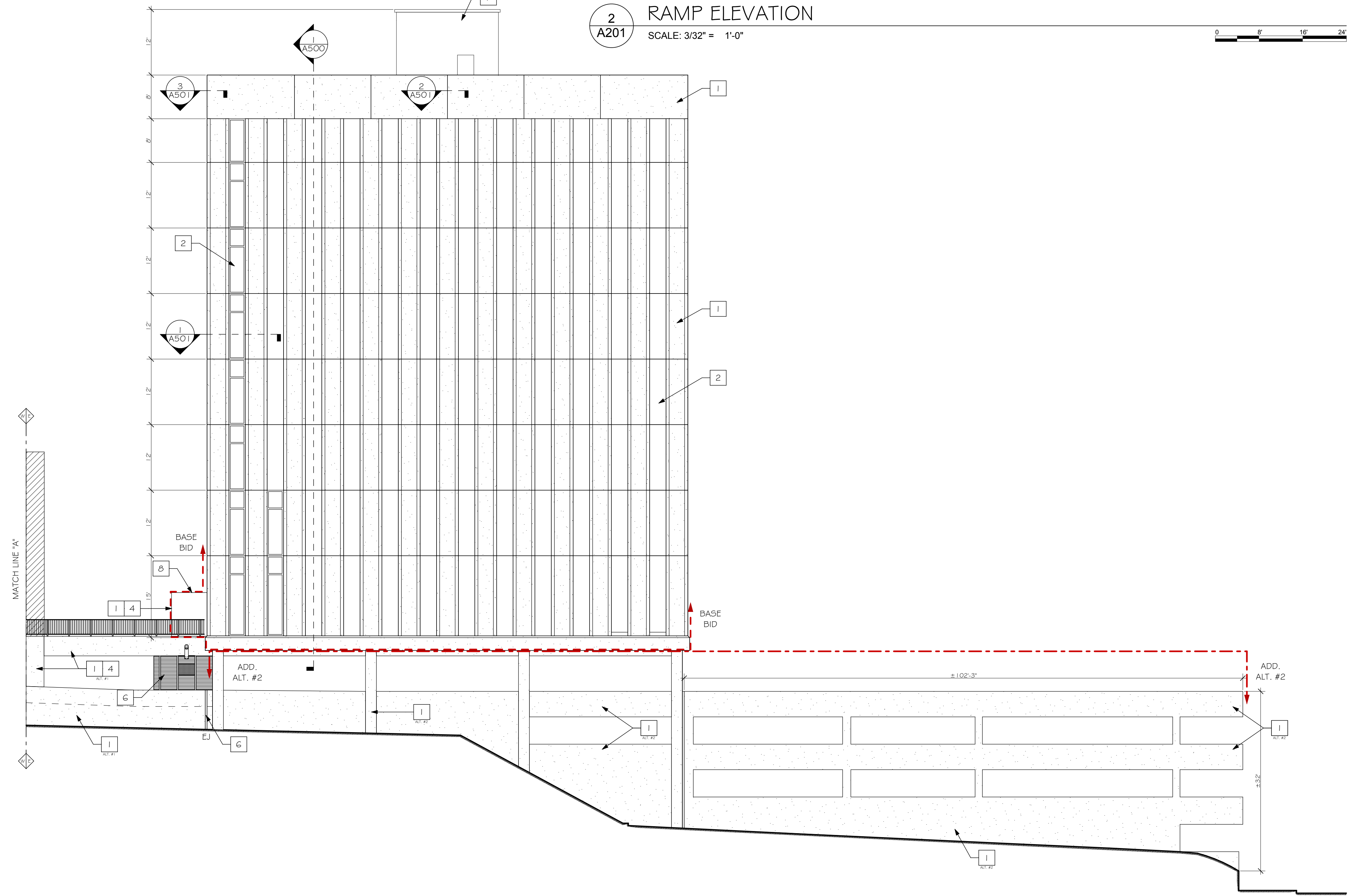




1
A201
RAMP SECTION
SCALE: 1/2" = 1'-0"



2
A201
RAMP ELEVATION
SCALE: 3/32" = 1'-0"



3
A201
SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

LEGEND

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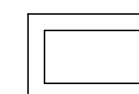
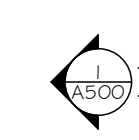



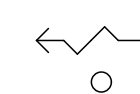


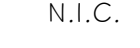



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 A/C001281

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A201

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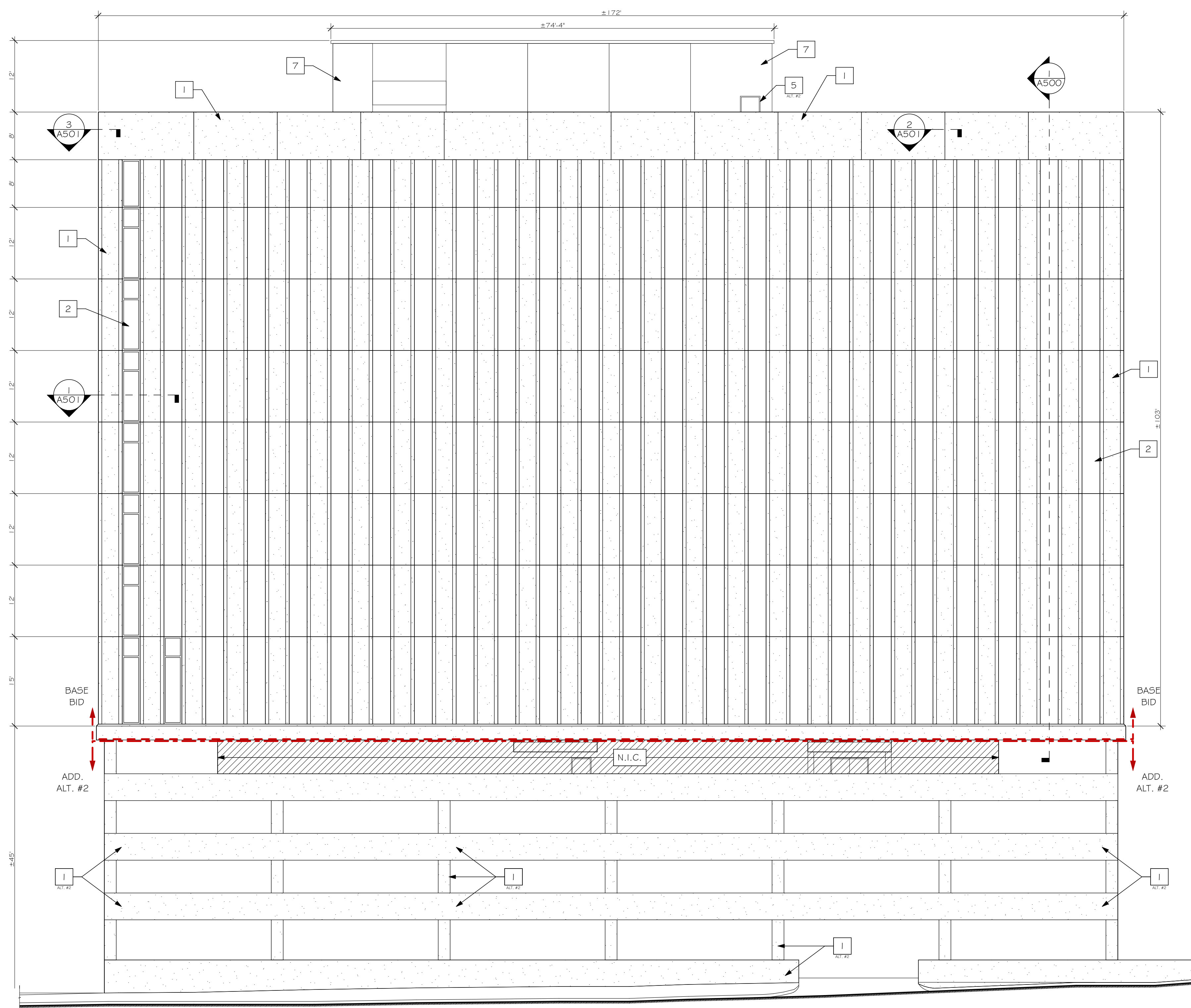
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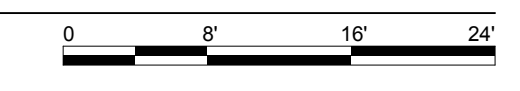
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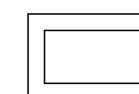
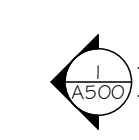



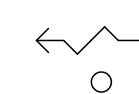




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 EAST ELEVATION
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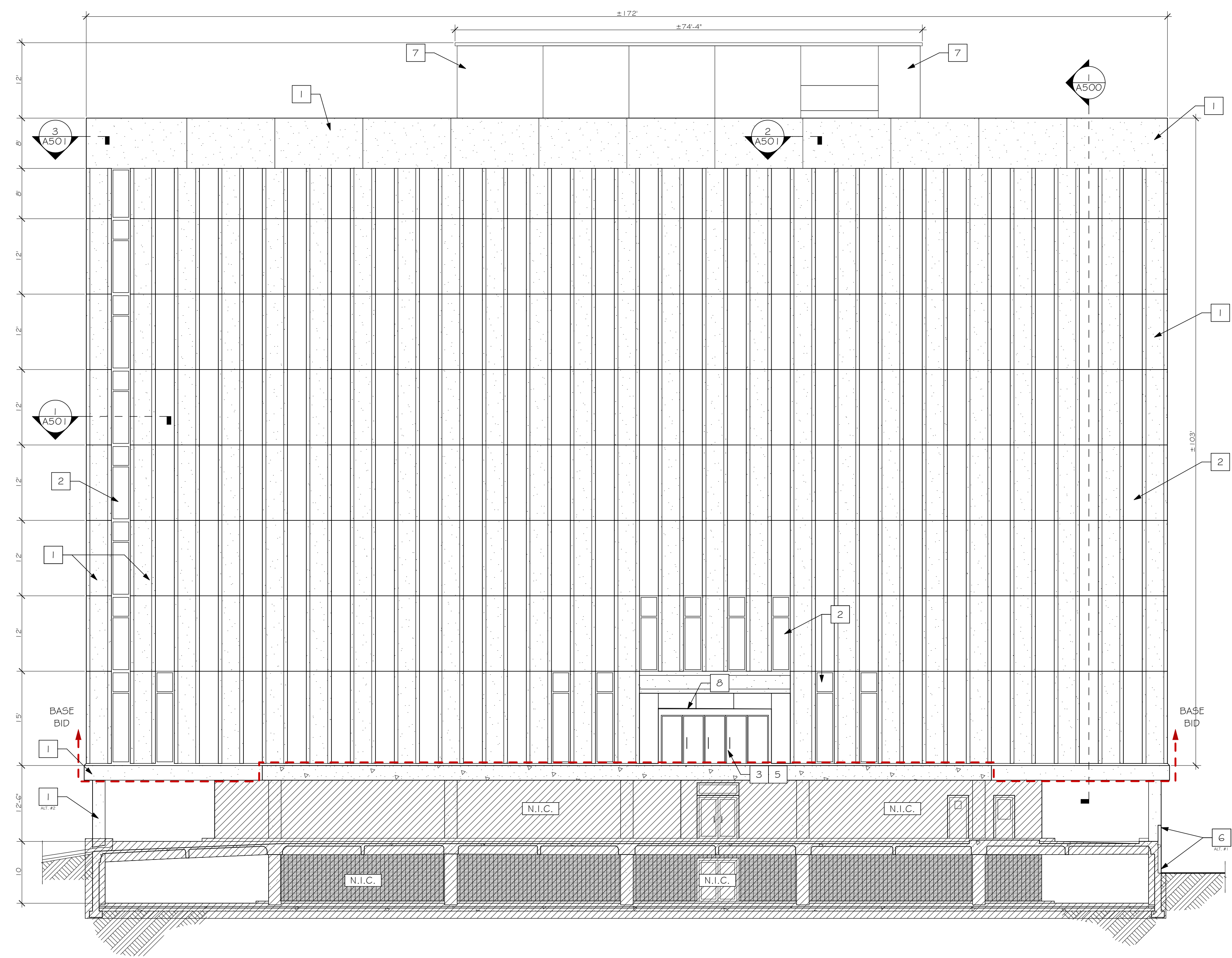
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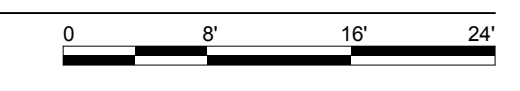
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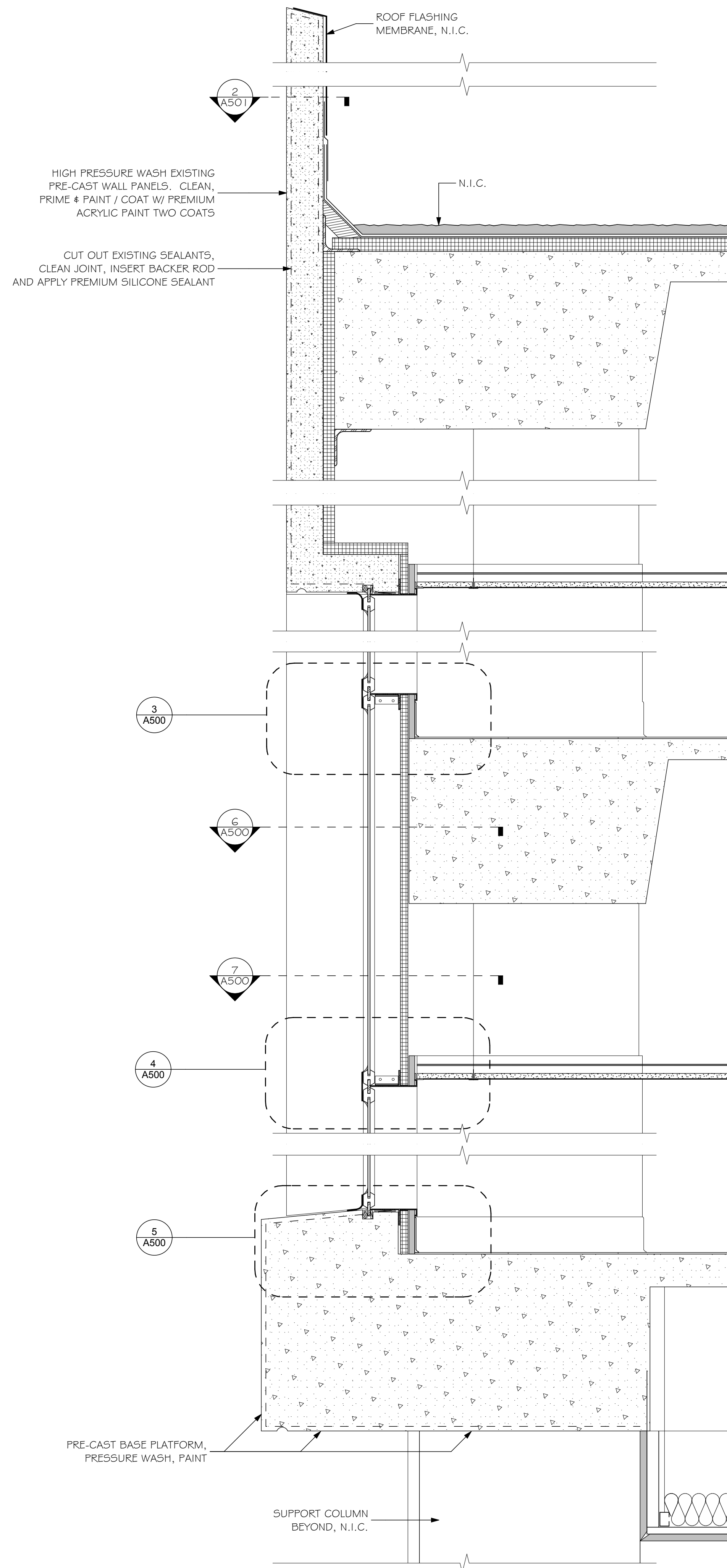
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- 8 ADDITIVE ALTERNATE #4: REMOVE THE EXISTING GRAVEL BUILT UP ROOFING SYSTEM DOWN TO THE EXISTING CONCRETE SURFACE. CLEAN THE CONCRETE ROOF DECK. APPLY LIQUID APPLY ROOF COATING AND LIQUID APPLIED REINFORCED FLASHING.

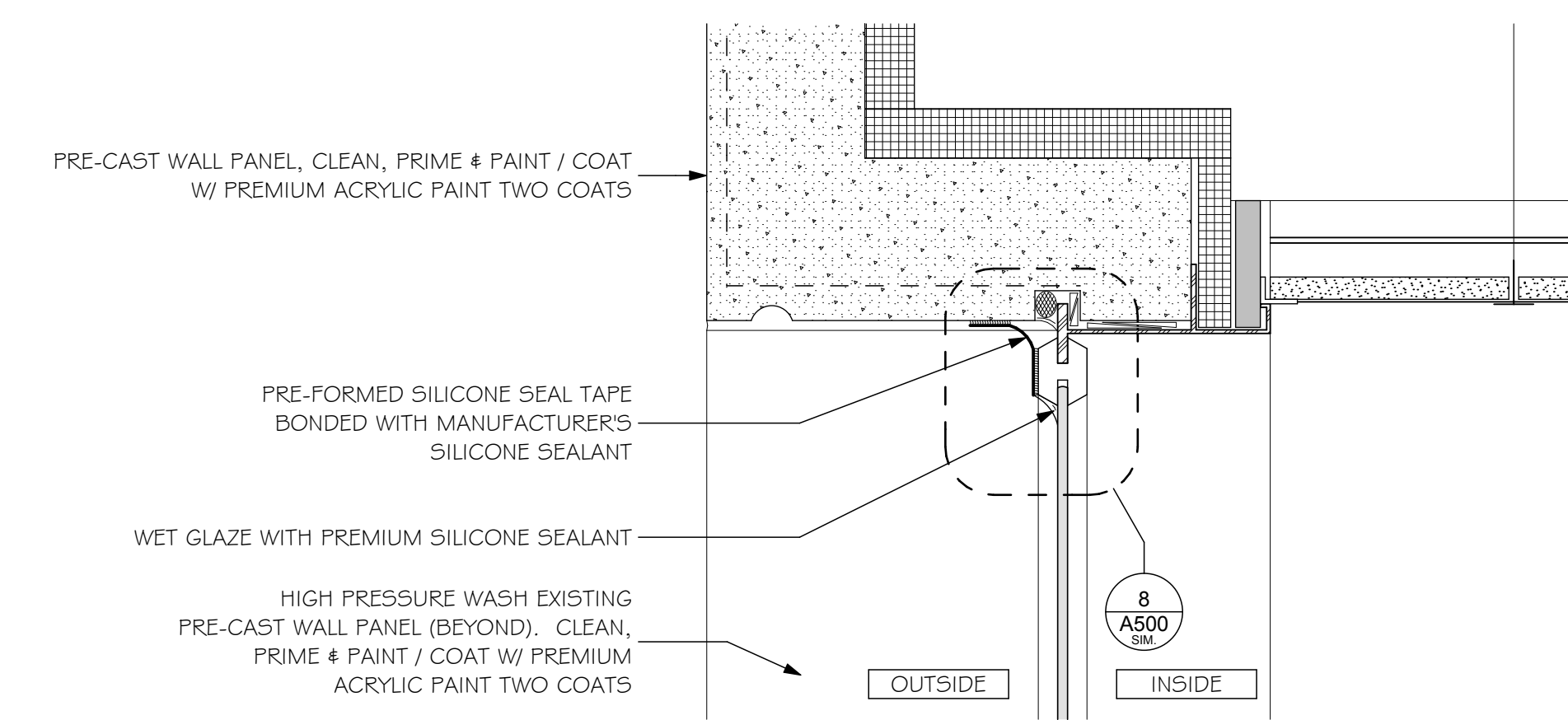


1 WEST ELEVATION
 A203 SCALE: 3/32" = 1'-0"

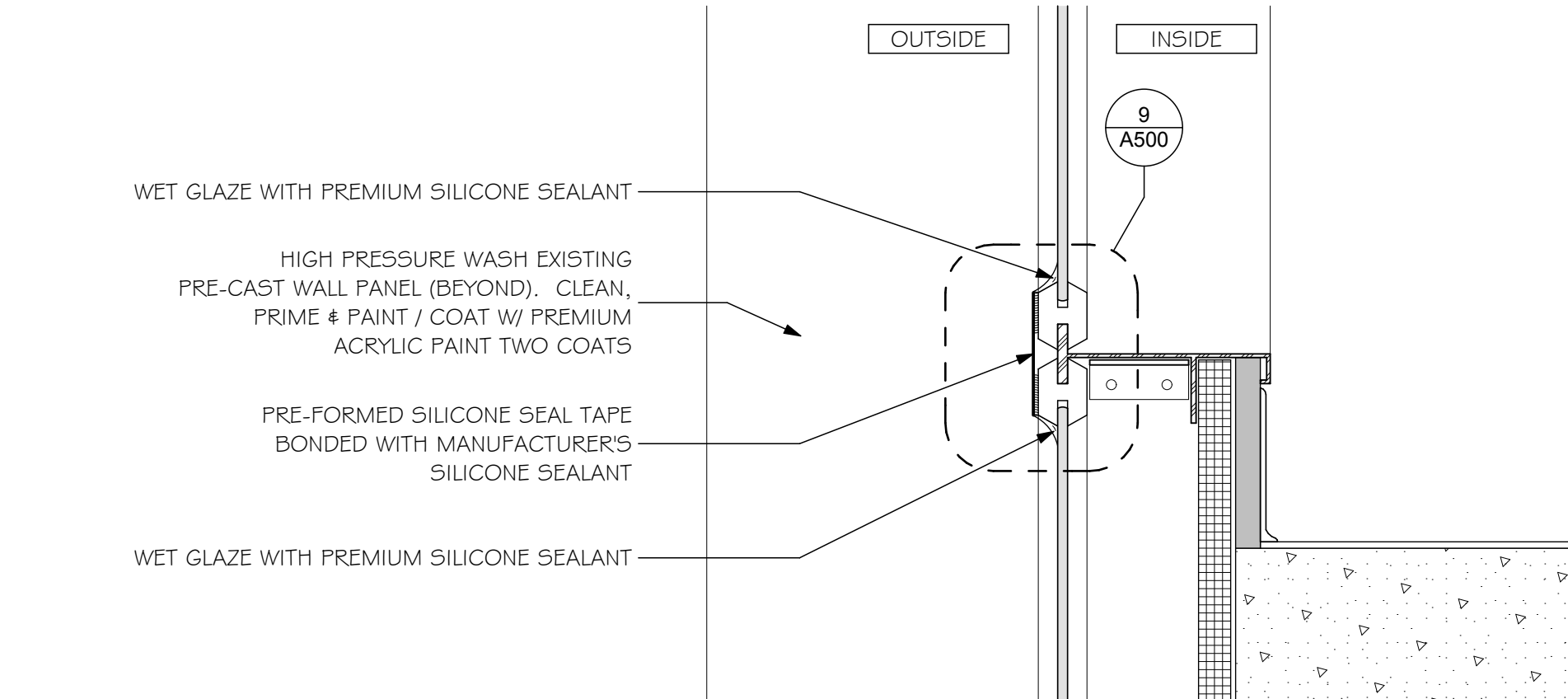




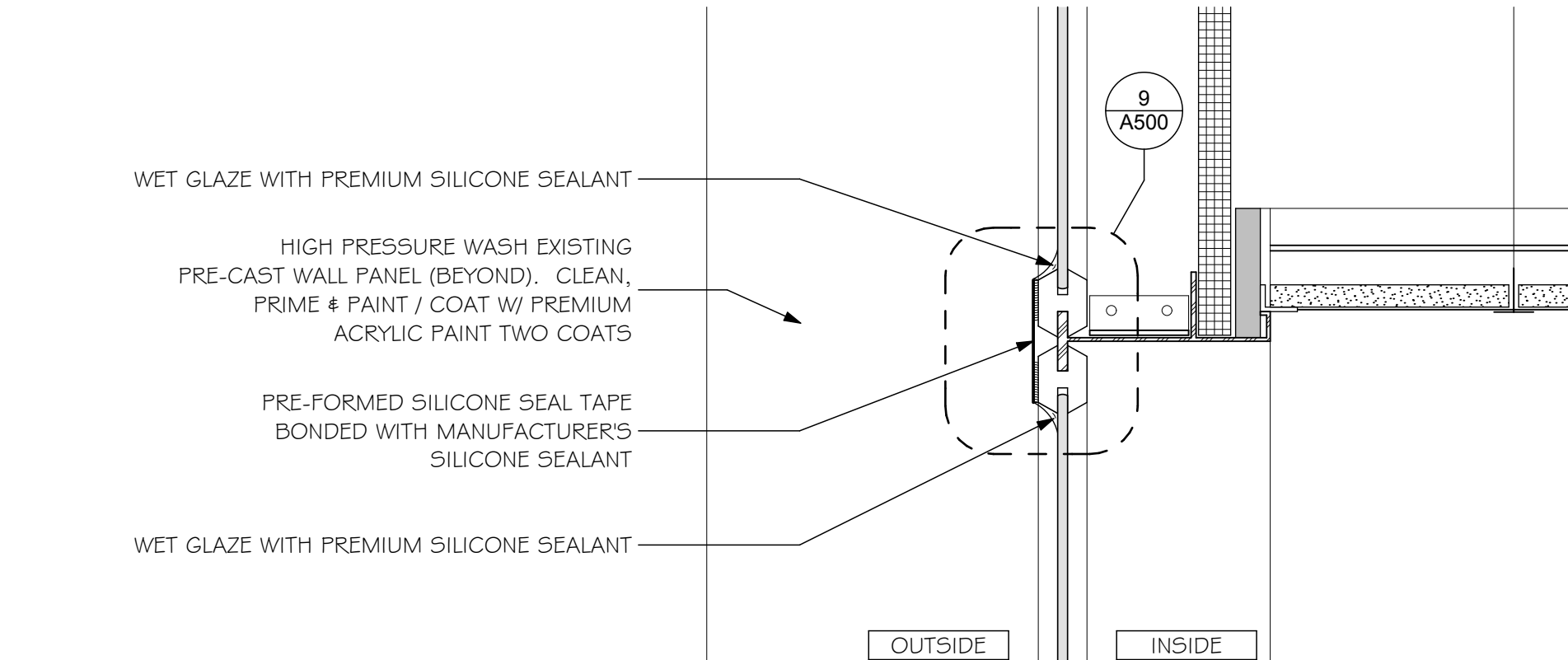
1
A500 SECTION
SCALE: 1 1/2" = 1'-0"



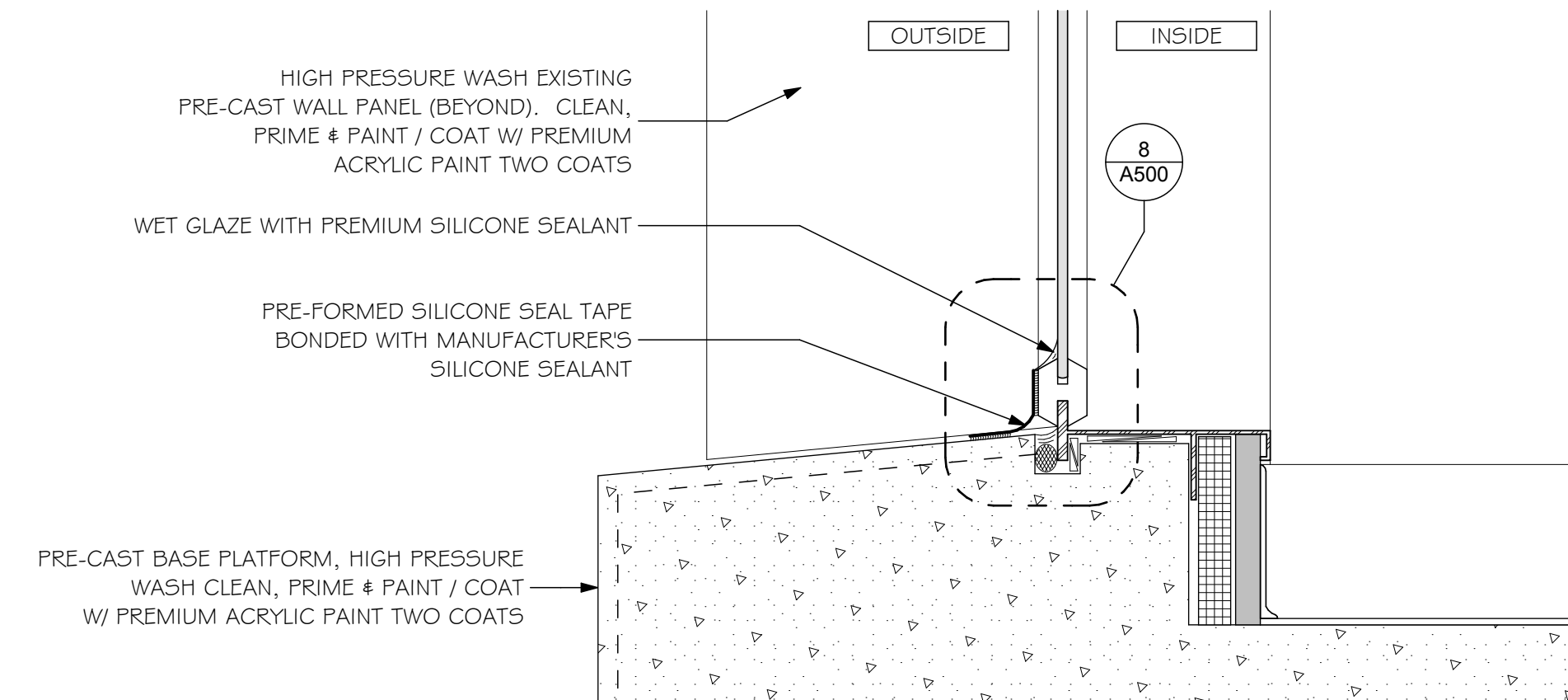
2
A500 HEAD
SCALE: 3" = 1'-0"



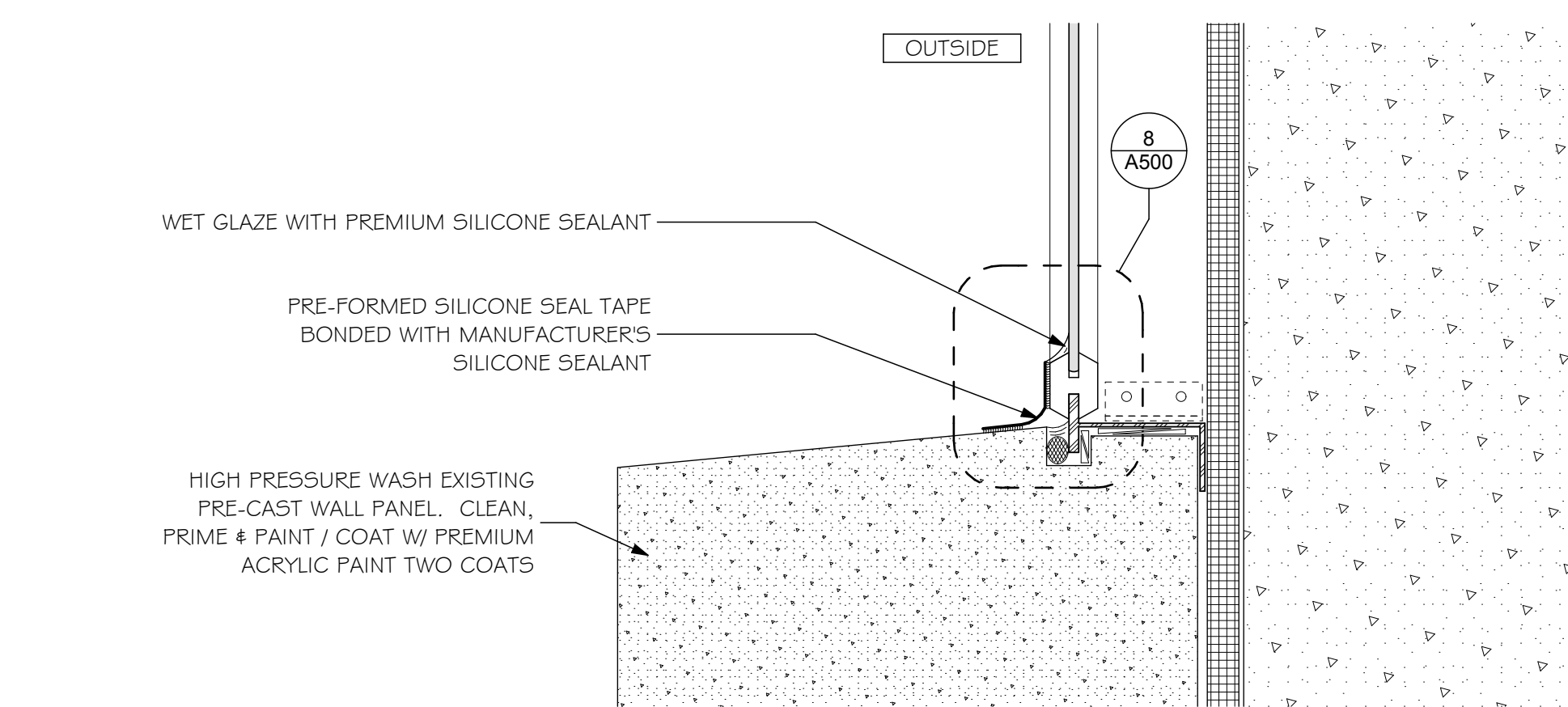
3
A500 SILL
SCALE: 3" = 1'-0"



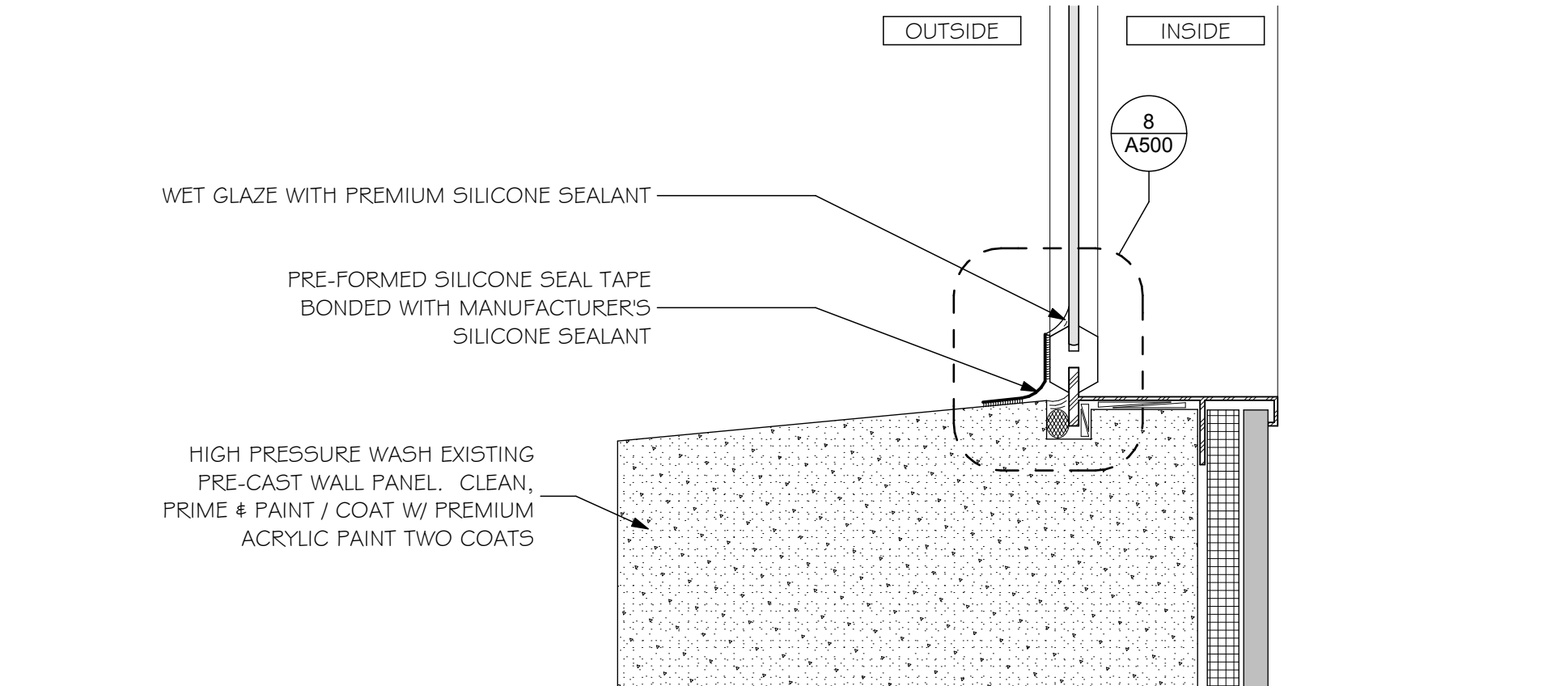
4
A500 HEAD
SCALE: 3" = 1'-0"



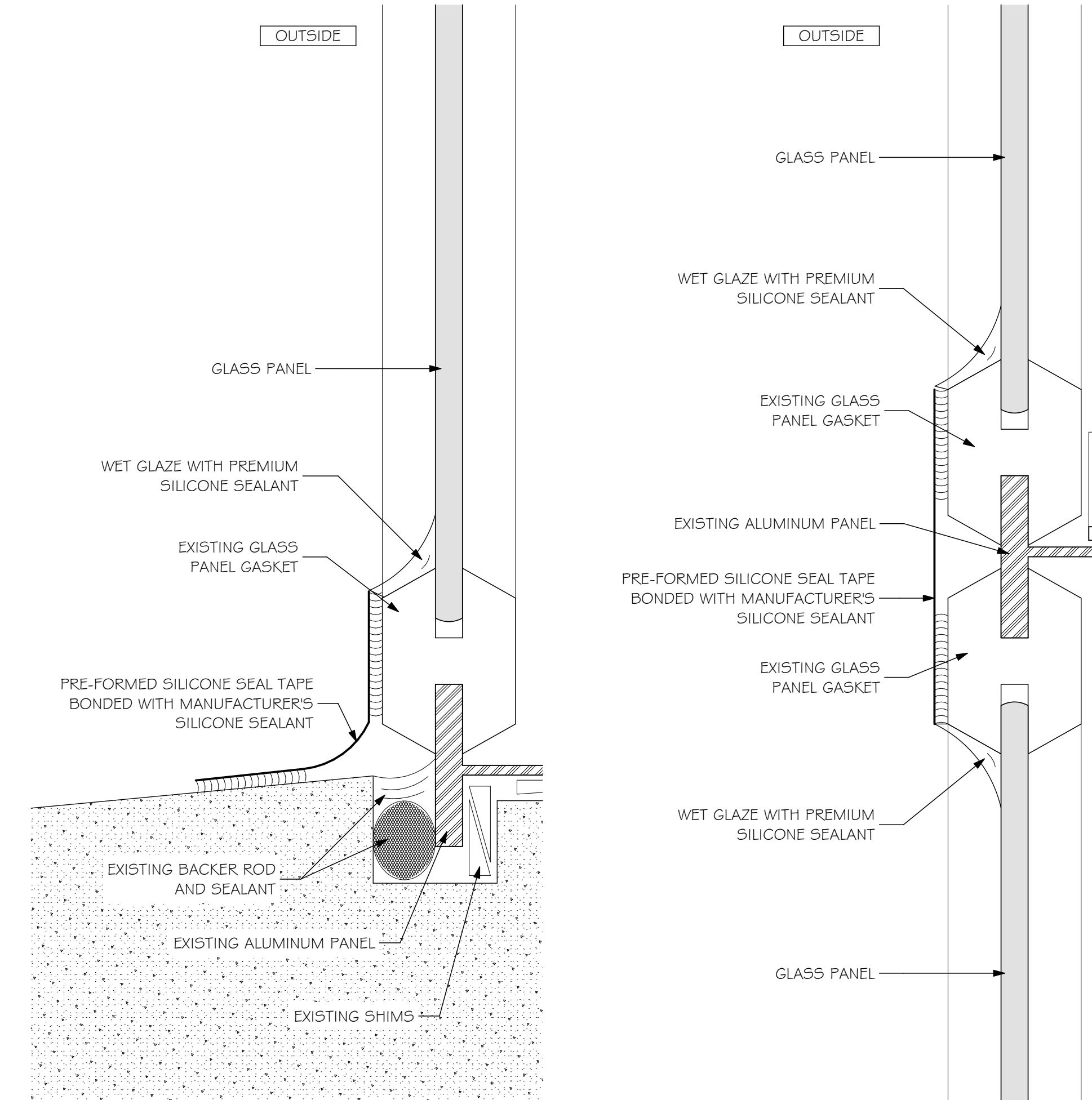
5
A500 SILL
SCALE: 3" = 1'-0"



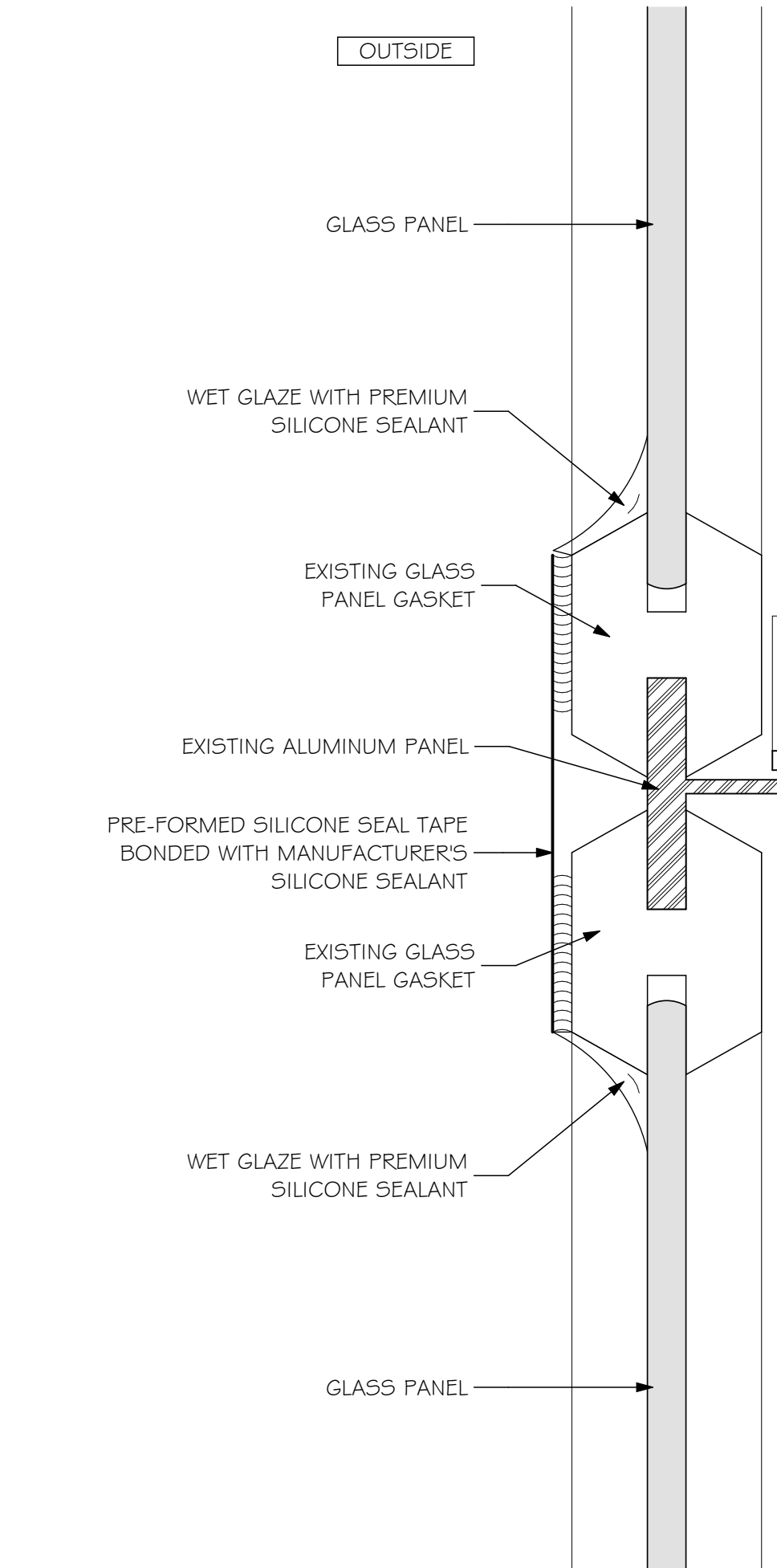
6
A500 JAMB AT SPANDRAL
SCALE: 3" = 1'-0"



7
A500 JAMB
SCALE: 3" = 1'-0"



8
A500 SEALANT DETAIL
SCALE: 1' = 1'-0"



9
A500 SEALANT DETAIL
SCALE: 1' = 1'-0"

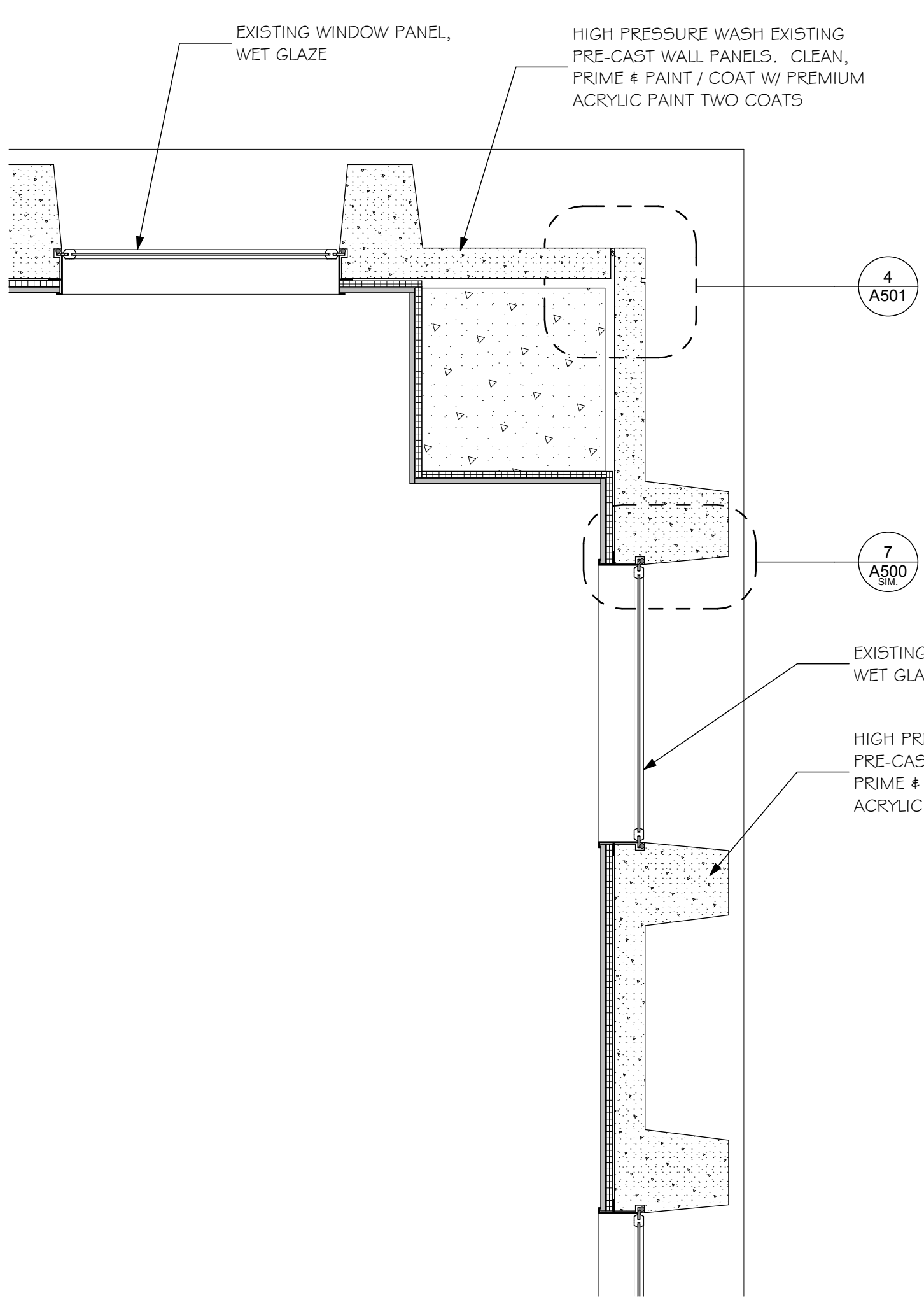
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TALLAHASSEE, TALLAHASSEE

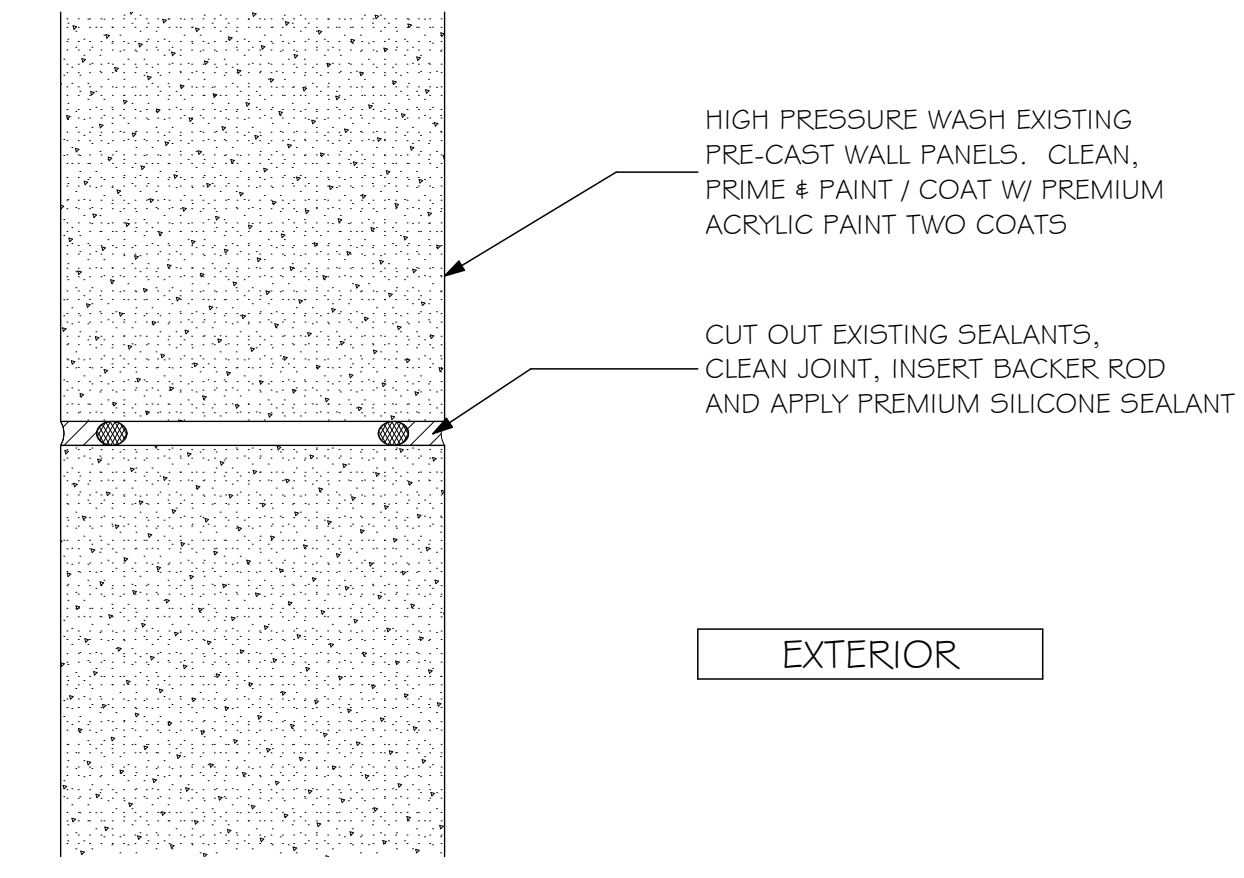
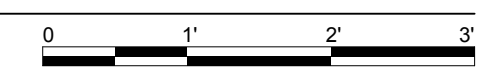
PROJ. NO.	105813
DATE	3/14/2013
DRAWN	PS, TR
CHECKED	RB
APPROVED	RL
REVISED	

100% SUBMITTAL
A500

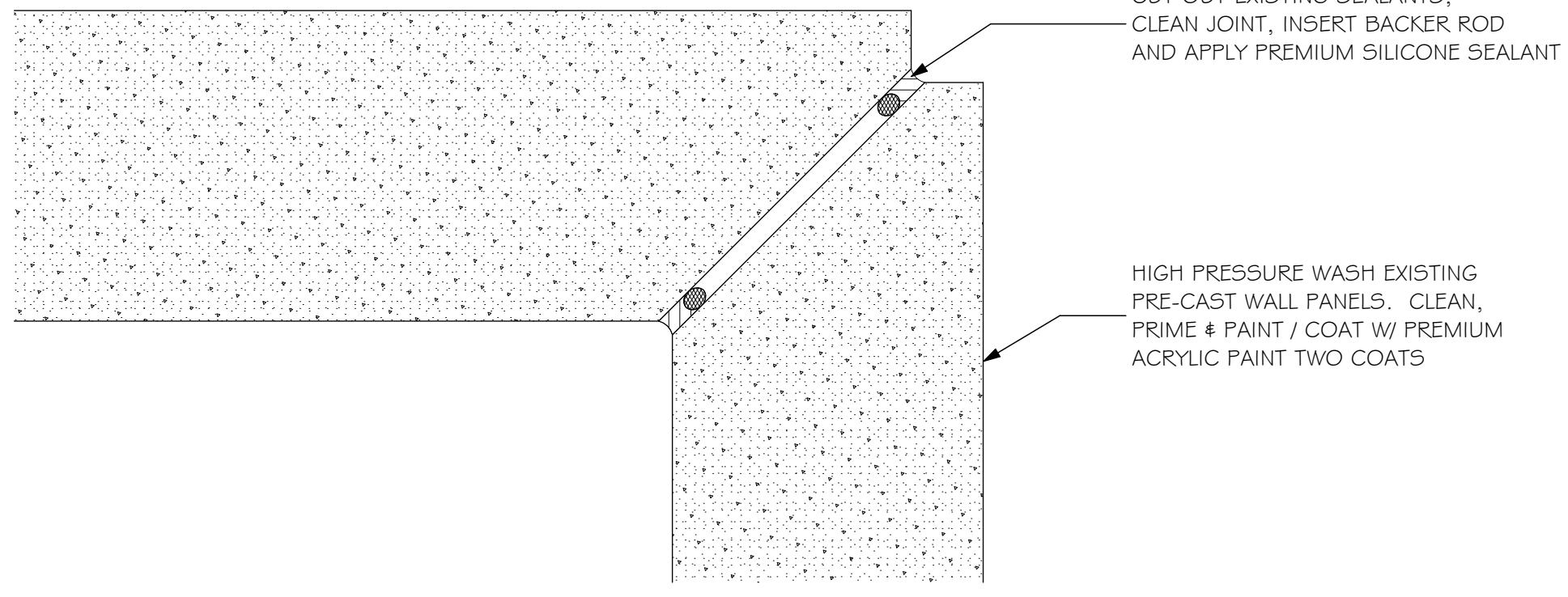
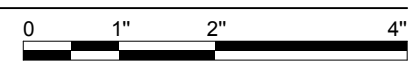
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REVISED	



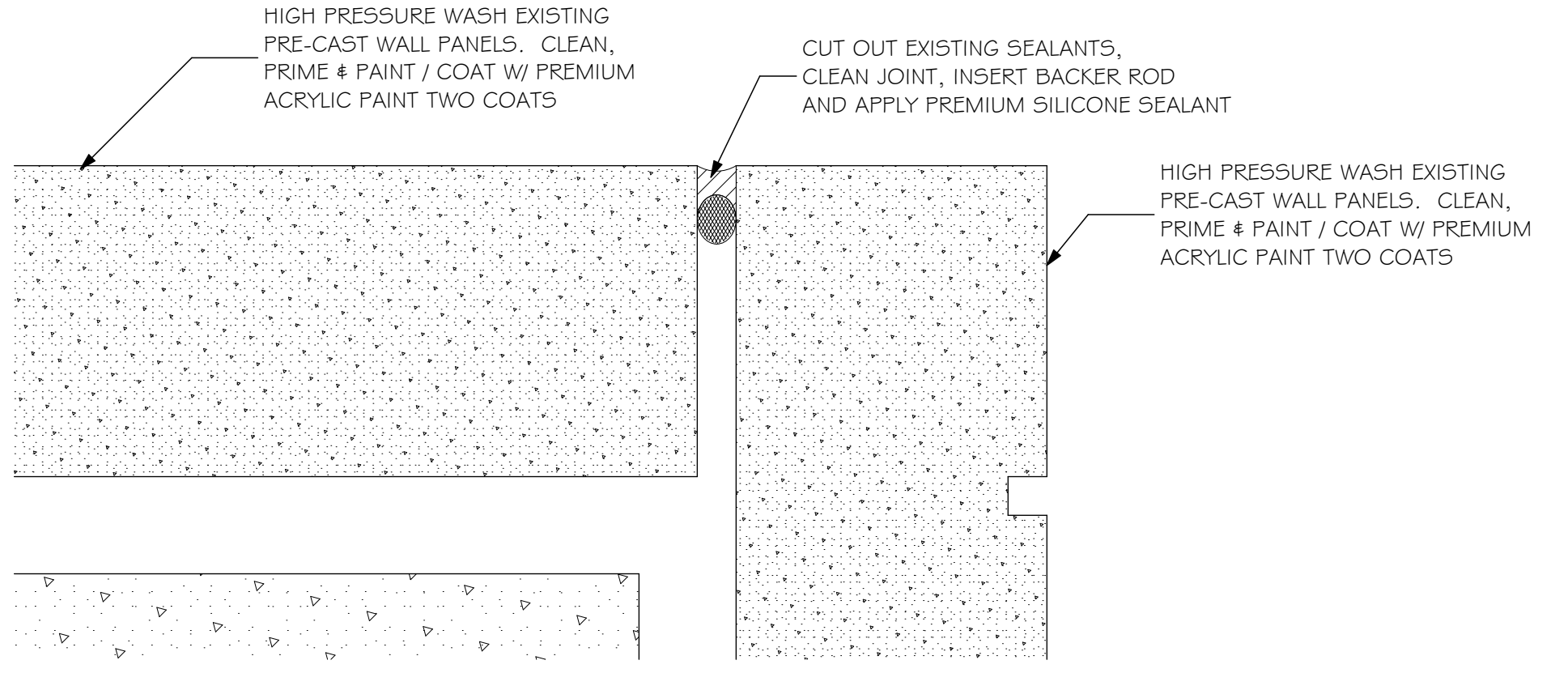
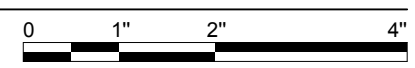
1
A501 CORNER PLAN SECTION
 SCALE: 3/4" = 1'-0"



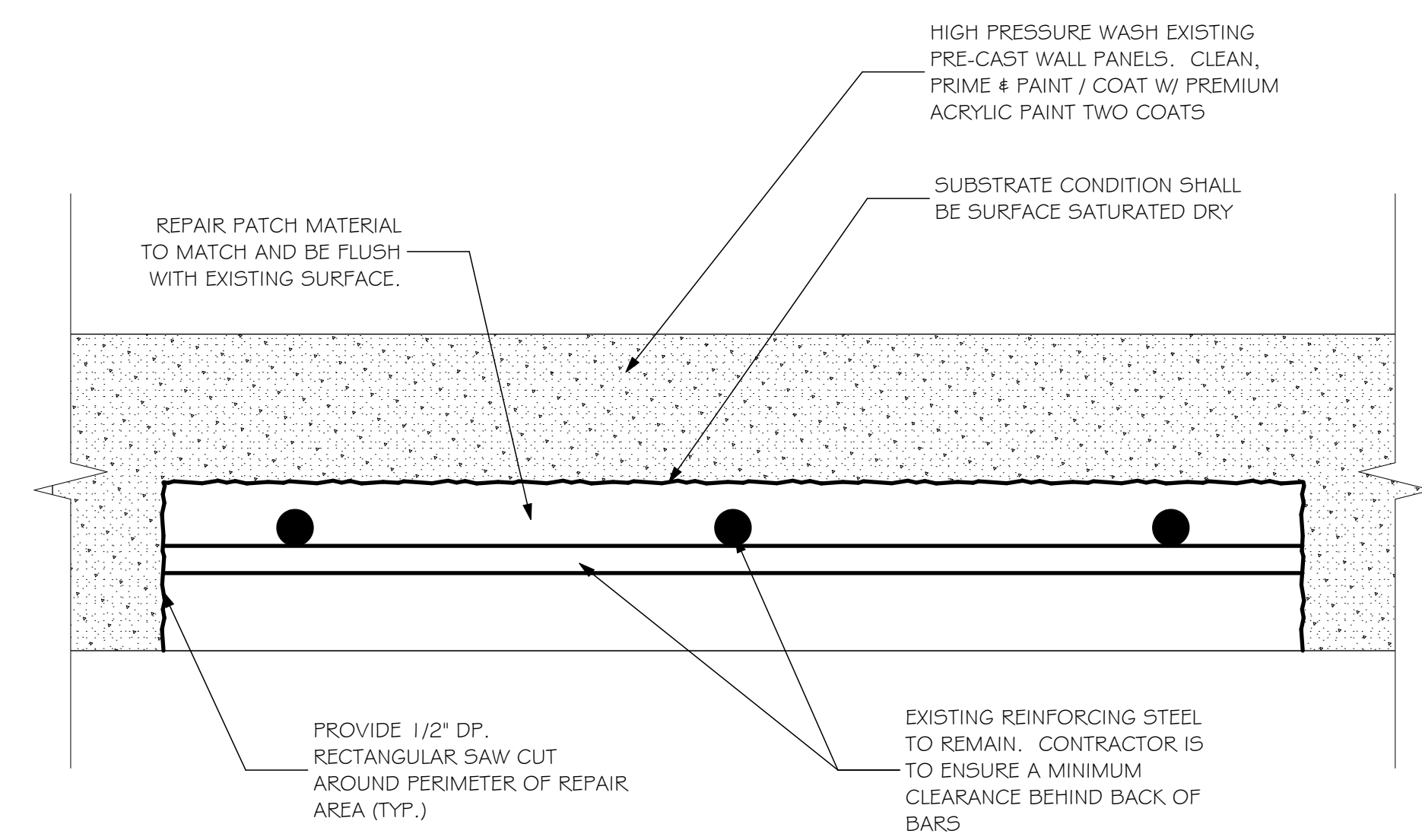
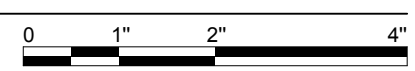
2
A501 DETAIL
 SCALE: 6" = 1'-0"



3
A501 CORNER DETAIL (PARKING GARAGE)
 SCALE: 6" = 1'-0"

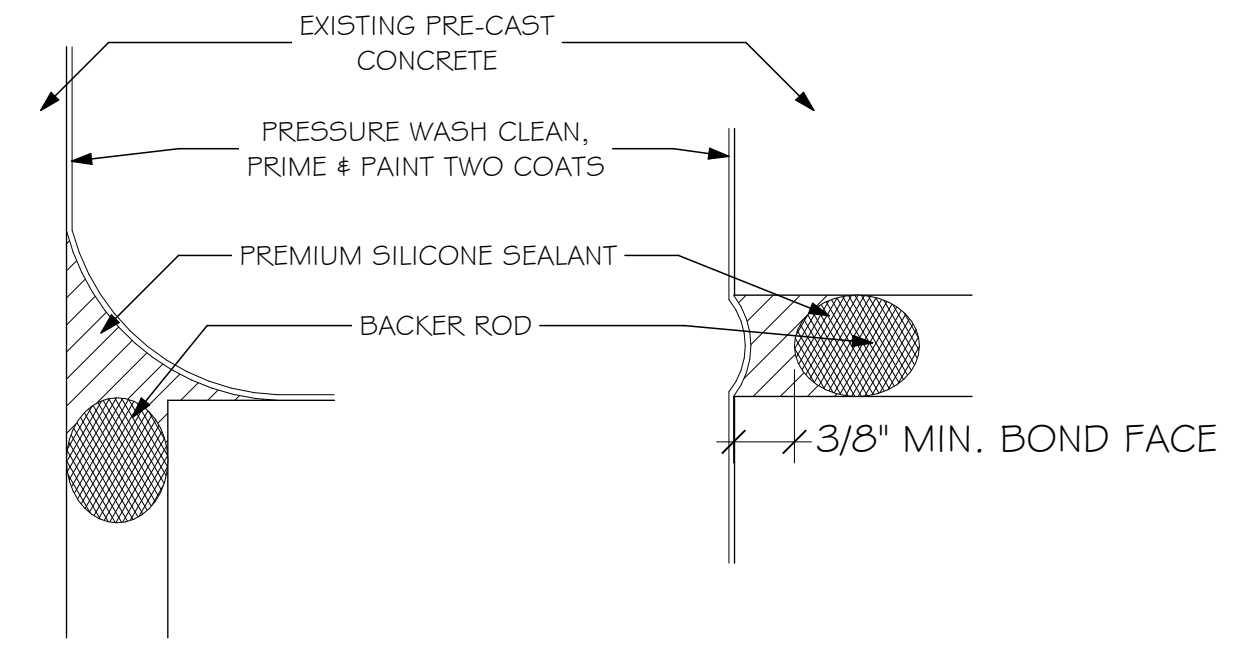


4
A501 CORNER DETAIL
 SCALE: 6" = 1'-0"



NOTE:
 1. MAKE REPAIRS AS INDICATED TO PROPERLY CLEAN, APPLY ANTI-CORROSION PRIMER BONDING AND PROVIDE MINIMUM COVER FOR REINFORCING BARS.
 2. DO NOT DAMAGE MAIN REINFORCING STEEL BARS WHEN CUTTING AT PERIMETER OF REPAIR AREA.

5
A501 REPAIR SPALLED CONCRETE
 NOT TO SCALE



6
A501 TYPICAL SEALANT DETAILS
 NOT TO SCALE



PHOTO #1

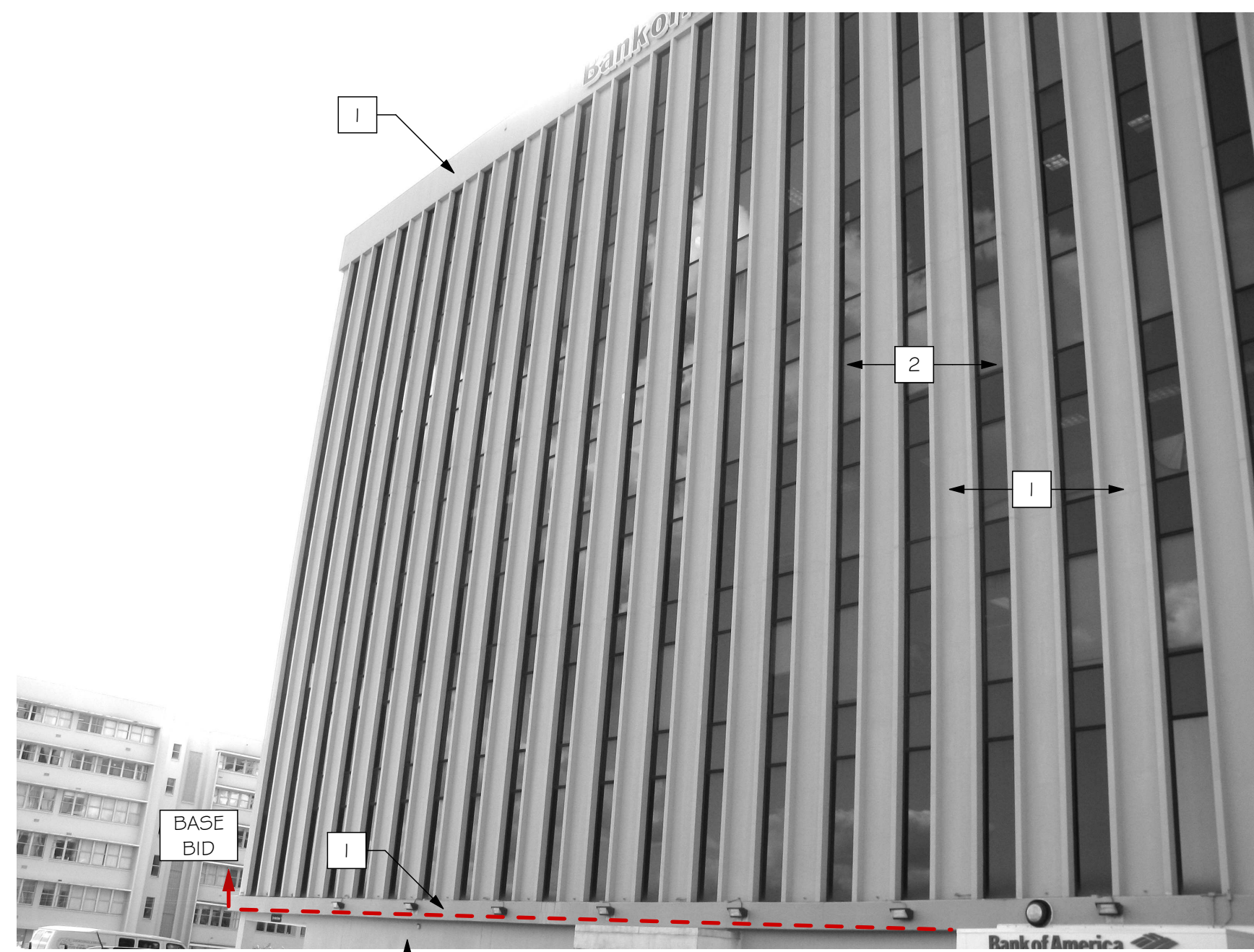


PHOTO #2



PHOTO #3



PHOTO #4

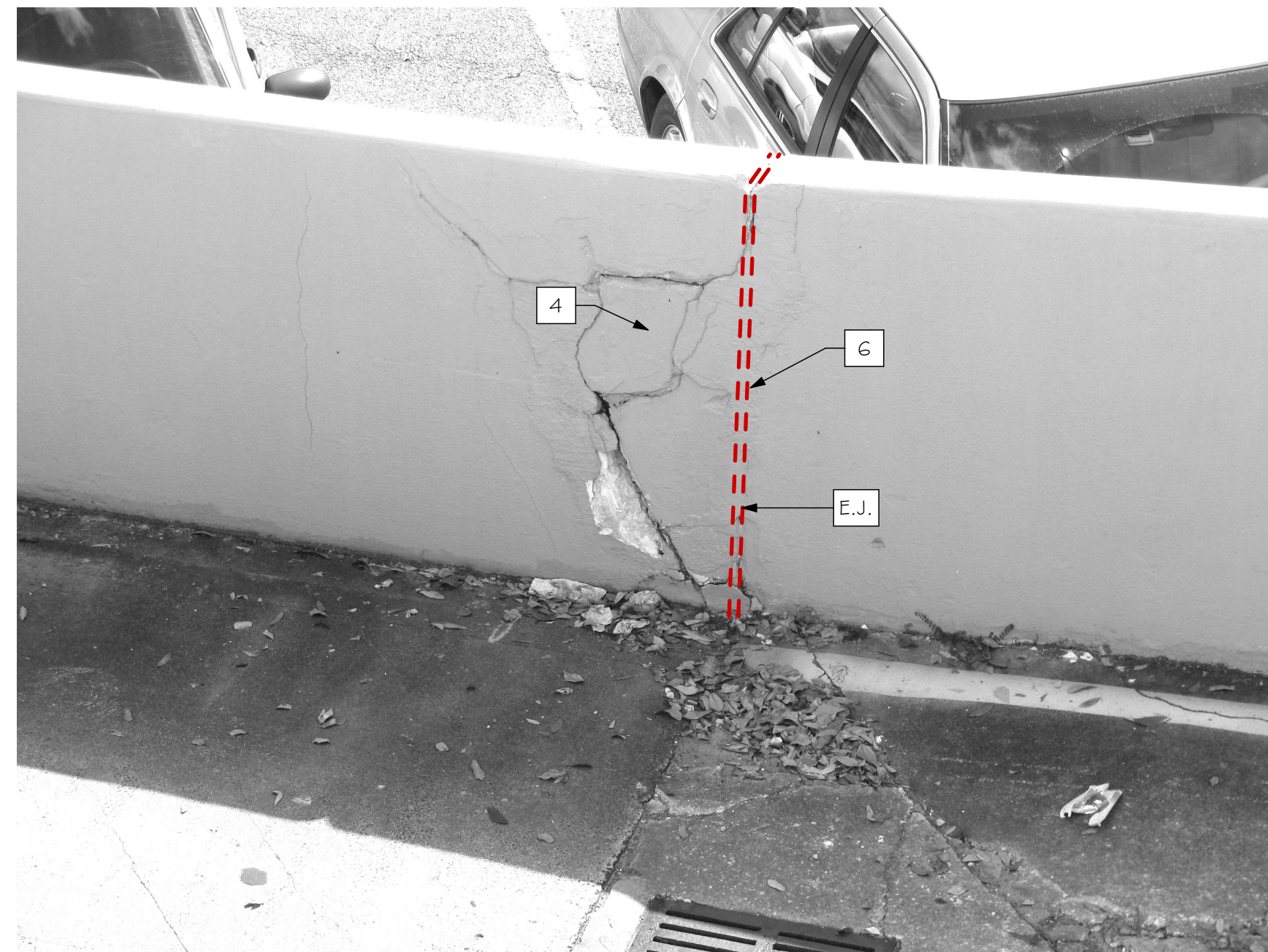


PHOTO #5



PHOTO #6



PHOTO #7

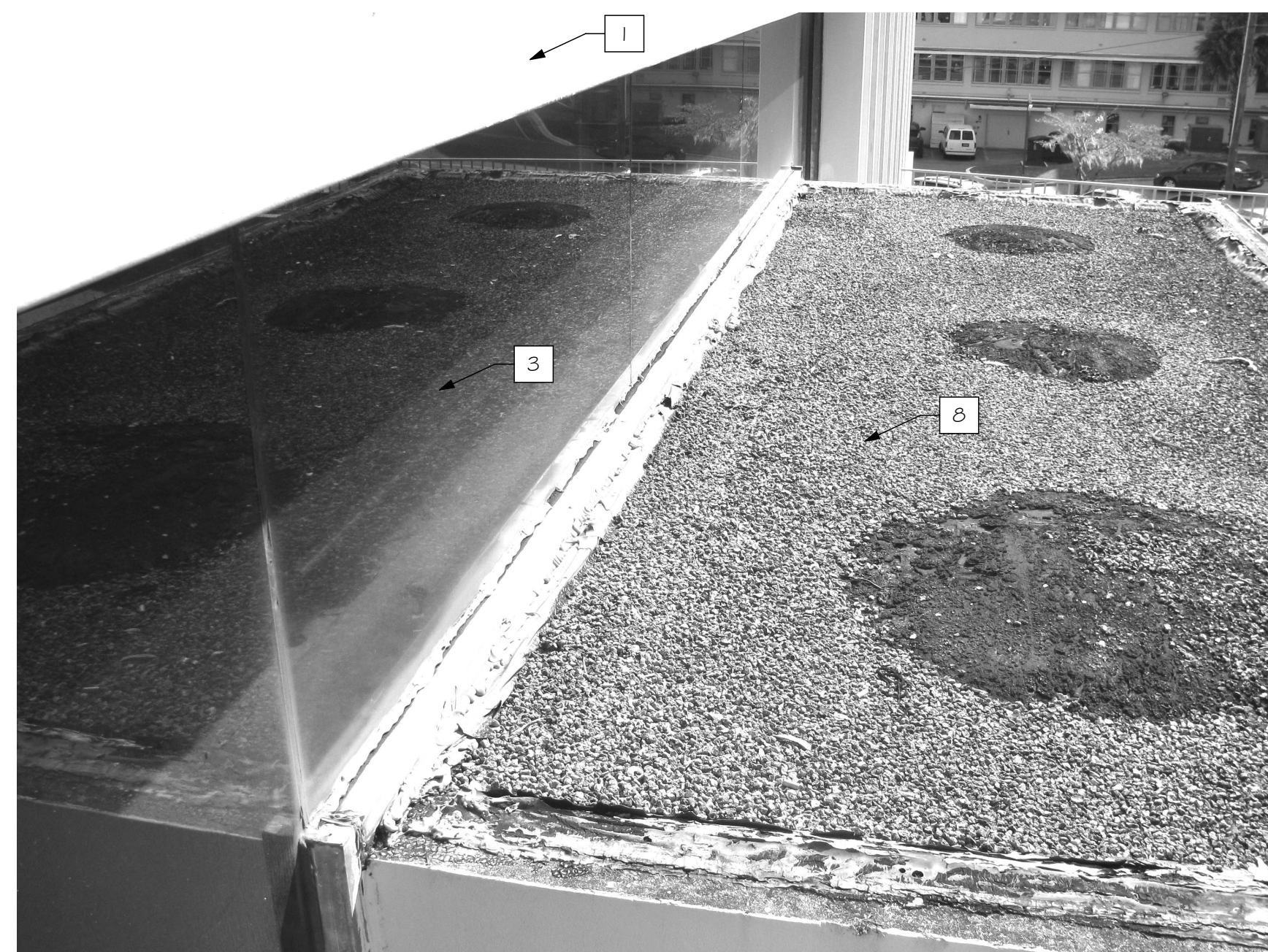


PHOTO #8

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